

Borough of Bay Head

81 Bridge Avenue
Bay Head, NJ 08742
(732)892-0638

Zoning Permit

Block 12 Lot 53
193 Park Ave

Permit No.

Status

DENIED

Status Date

07/17/2023

Applicant:

KENNEDY, BRUCE JR & LAUREN AUBREY
2 EAST MAIN STREET
BROOKSIDE, NJ 07926

Real Estate Owner

KENNEDY, BRUCE JR & LAUREN AUBREY
2 EAST MAIN STREET
BROOKSIDE, NJ 07926

Detailed Description of Project

Proposed renovation and expansion of an existing residential dwelling and a proposed 200 s.f. residential in-ground pool with pervious deck.

Specific Use Proposed

Residential

Specific Use Now

Residential

Zone R50

Permit Type Zoning

Applic Accept'd

Property is

Request

Application Response

Disposition Narrative

Lot is a nonconforming lot located in the R50 zone. Existing nonconformities include lot area, lot width, lot frontage, front yard, side yard to dwelling and shed.

This proposal increases the existing nonconformities for front yard (2nd floor Bedroom projection), side yard to proposed dwelling expansion, pool equipment side yard (Accessory SY = 4' min), A/C platform (principal SY = 6' min). Building coverage and Lot coverage are conforming provided the proposed deck is certified as meeting pervious construction.

Existing dwelling and proposed renovation encroaches onto adjacent property. Evidence indicating acceptance of this encroachment by owner of adjacent lot prior to issuance of any permits for this proposal shall be submitted.

Approval Checklist ('Y'=


DENIED

Applicant may submit a conforming plan or seek approval from the Bay Head Planning Board

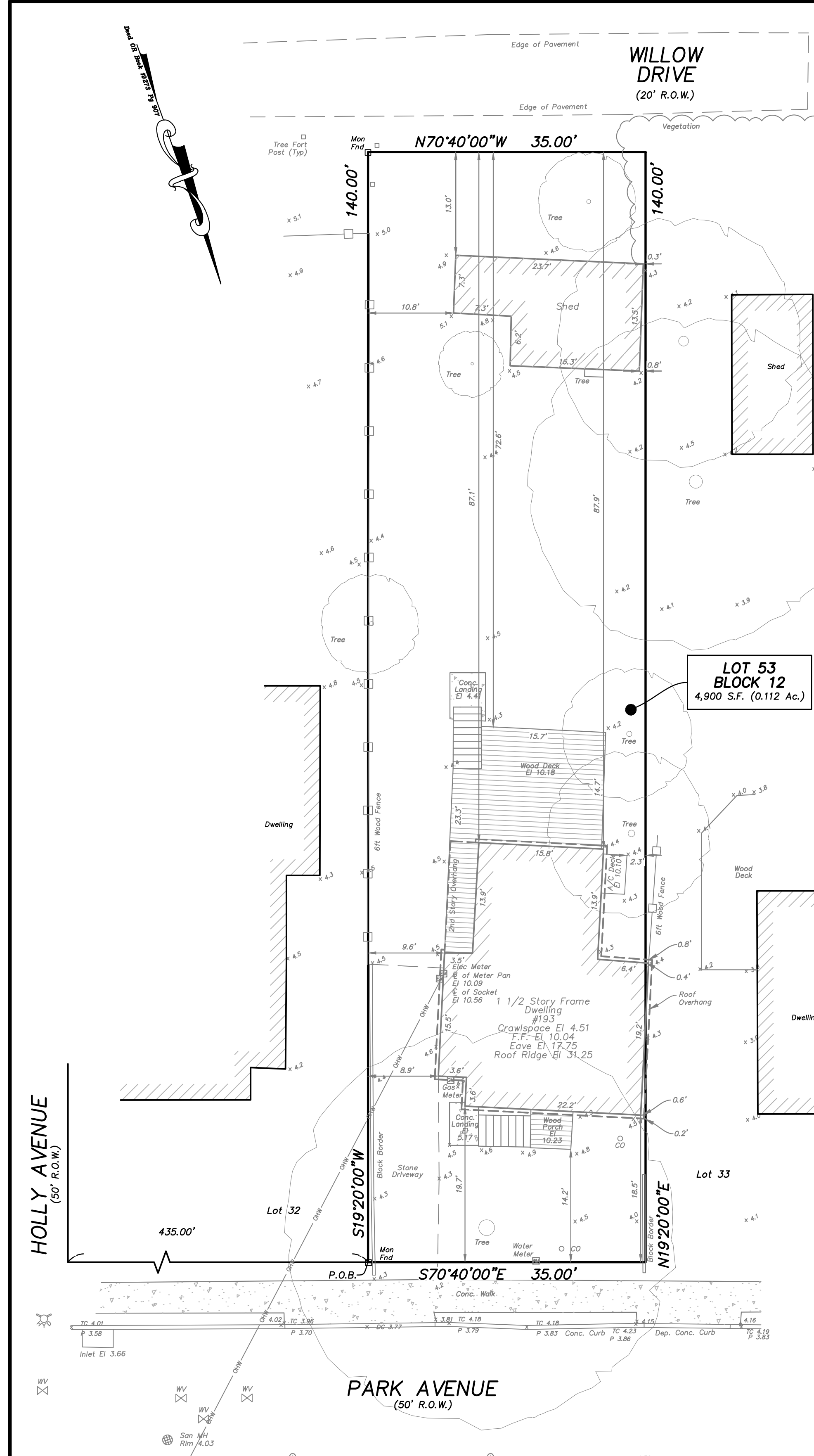
Plans Reviewed

-Plot Plan Block 53 Lot 12, one sheet prepared by Charles E. Lindstrom, P.E. on 6/28/23; Project 23024

-Alterations to Kennedy Residence, 193 Park Ave, 3 sheets in number as prepared by Jeffrey G. Schneider, AIA on 07/07023; Project 2305



Paul E. Pogorzelski, P.E.
Van Cleef Engineering Associates - Zoning Officer



EXISTING CONDITIONS PLAN
SCALE 1"=10'

OWNER/APPLICANT:
BRUCE JR. & LAUREN KENNEDY
2 EAST MAIN STREET, BOX 68
BROOKSIDE, NJ 07926

REFERENCES USED:
• DEED BOOK 19273, PAGE 907

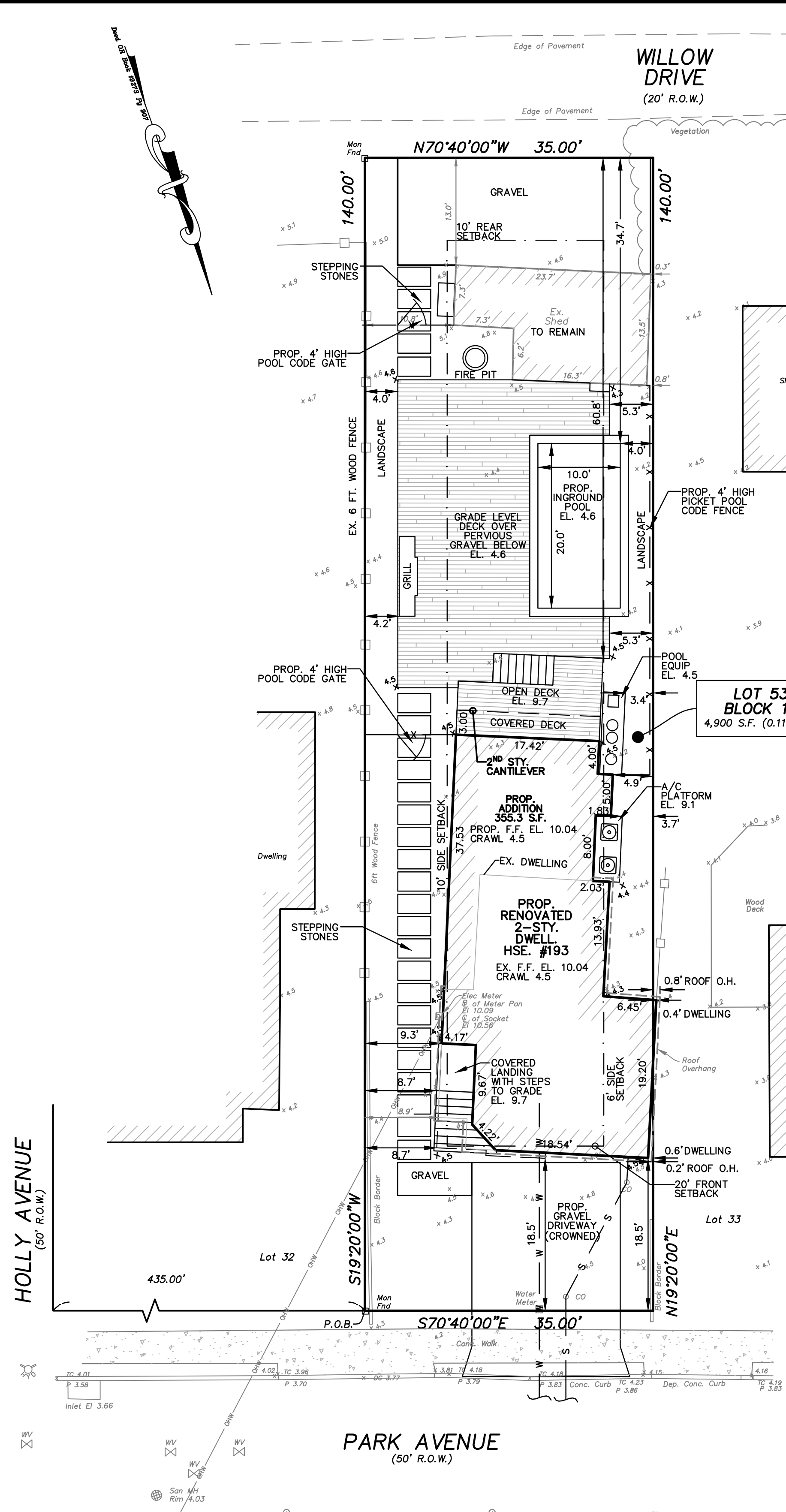
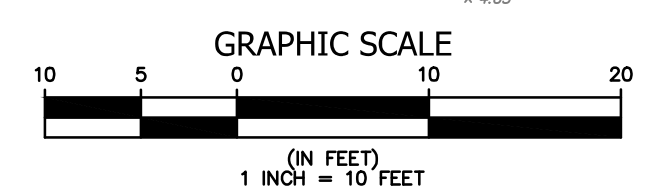
PROPERTY DESCRIPTION:
BEING KNOWN AS LOT 53 IN BLOCK 12 ON THE OFFICIAL
TAX MAP SHEET 1 OF BOROUGH OF BAY HEAD, OCEAN
COUNTY, NEW JERSEY.

EXISTING LOT COVERAGE	
SHED	275.5 S.F.
CONC. LANDING	21.0 S.F.
A/C DECK	14.6 S.F.
1½ STY. DWELLING	704.6 S.F.
CONC. LANDING	18.9 S.F.
TOTAL	1034.6 S.F.

EXISTING BUILDING COVERAGE	
SHED	275.5 S.F.
WOOD DECK	340.0 S.F.
A/C DECK	14.6 S.F.
1½ STY. DWELLING	704.6 S.F.
WOOD PORCH	50.9 S.F.
TOTAL	1385.6 S.F.

PROPOSED LOT COVERAGE	
SHED	275.5 S.F.
STEPPING STONES	251.9 S.F.
FIRE PIT	7.1 S.F.
GRILL	19.9 S.F.
POOL EQUIP. PAD	26.7 S.F.
COVERED DECK	52.3 S.F.
A/C PLATFORM	25.8 S.F.
2 STY. DWELLING	1015.4 S.F.
COVERED LANDING & STEPS	64.8 S.F.
TOTAL	1739.4 S.F.

PROPOSED BUILDING COVERAGE	
SHED	275.5 S.F.
OPEN DECK	108.6 S.F.
COVERED DECK	52.3 S.F.
A/C PLATFORM	25.8 S.F.
2 STY. DWELLING	1015.4 S.F.
COVERED LANDING & STEPS	64.8 S.F.
TOTAL	1542.4 S.F.



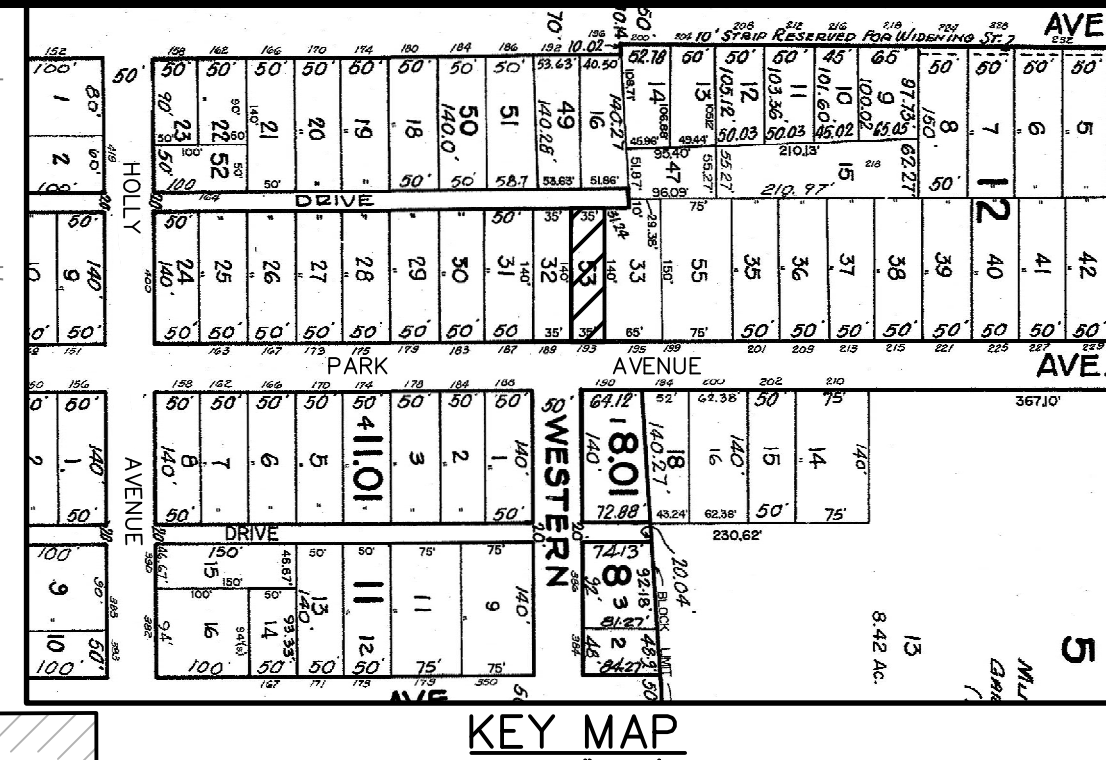
PROPOSED DEVELOPMENT PLAN
SCALE 1"=10'

PROPERTY IS LOCATED IN THE R-50 ZONE

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	5,000 S.F.	4,900 S.F.*	4,900 S.F.**
LOT WIDTH	30 FT.	35.0 FT.**	35.0 FT.**
FRONT SETBACK	20 FT.	14.2 FT.*	18.5 FT.**
SIDE SETBACK	6 FT.	0.0 FT.*	0.0 FT.**
COMBINED	16 FT.	8.9 FT.*	8.7 FT.**
REAR SETBACK	10 FT.	72.6 FT.	60.8 FT.
MAX. BUILDING HEIGHT(1)	35 FT.	23.5 FT.	23.5 FT.
MAX. BUILDING COVERAGE	2.5 STYS.	1.3 STYS.	2.0 STYS.
MAX. LOT COVERAGE	50%	21.1%	35.5%
ACCESSORY SHED			
SIDE SETBACK	4 FT.	0.3 FT.*	0.3 FT.*
REAR SETBACK	10 FT.	13.0 FT.	13.0 FT.
POOL			
SIDE SETBACK	4 FT.	N/A	4.0 FT.
REAR SETBACK	10 FT.	N/A	34.7 FT.
POOL EQUIPMENT			
SIDE SETBACK	6 FT.	N/A	3.4 FT.**
A/C PLATFORM			
SIDE SETBACK	6 FT.	2.3 FT.*	3.7 FT.**

* EXISTING NON-CONFORMING VARIANCE REQUESTED
(1) MEASURED FROM RIDGE TO BFE 8.0

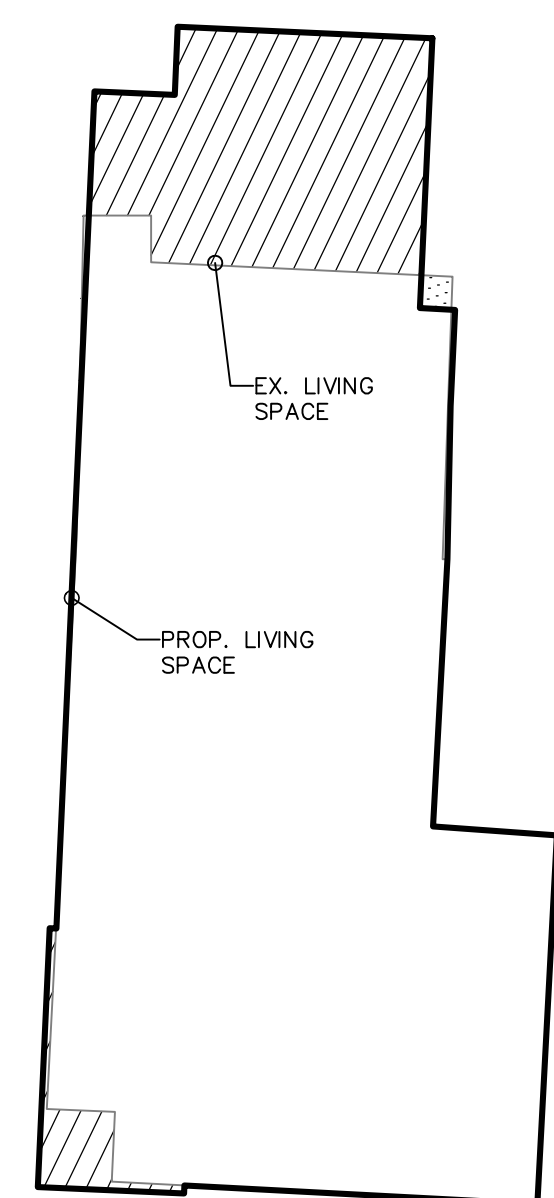
- LEGEND:**
- - - EXISTING CONTOUR
 - [] PROPOSED CONTOUR
 - [] EXISTING SPOT GRADE
 - [] PROPOSED SPOT GRADE
 - [] EXISTING INLET
 - [] PROPOSED INLET
 - [] EXISTING FIRE HYDRANT
 - [] PROPOSED FIRE HYDRANT
 - [] EXISTING M.H.
 - [] PROPOSED M.H.
 - [] EXISTING UTILITY POLE
 - [] PROPOSED UTILITY POLE
 - [] SOIL BORING LOCATION
 - [] EXISTING VALVE
 - [] PROPOSED VALVE
 - [] EXISTING WOODS LINE
 - [] PROPOSED WOODS LINE
 - [] TOP OF BLOCK



KEY MAP
SCALE 1"=200'



AERIAL MAP
N.T.S.

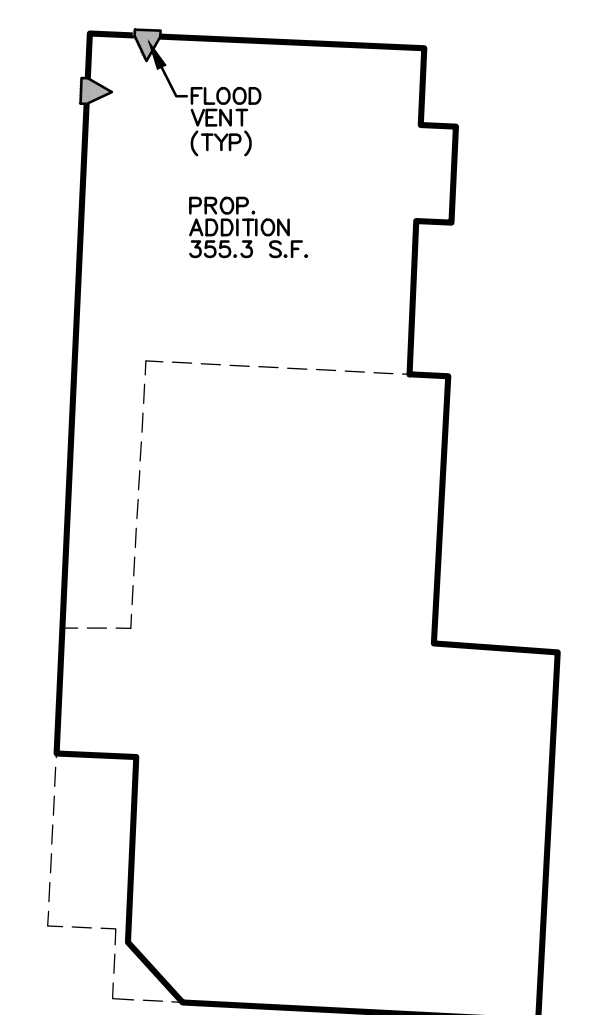


FOOTPRINT DIAGRAM
SCALE 1"=10'

AREA OF EXPANSION 212.7 S.F.
AREA OF REDUCTION 4.5 S.F.
NET AREA OF FOOTPRINT EXPANSION 208.2 S.F.

GENERAL NOTES:

- SURVEY AND TOPOGRAPHY TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY LOT 53 BLOCK 12 BOROUGH OF BAY HEAD, OCEAN COUNTY, NEW JERSEY" PREPARED BY LINDSTROM, DIESSNER AND CARR P.C. DATED 3/31/2023. WILLIAM H. DOOLITTLE P.L.S. FOR BRUCE JR. & LAUREN KENNEDY.
- ELEVATIONS BASED ON NAVD 1988 DATUM UTILIZING GPS RTK OBSERVATIONS.
- PROPERTY LOCATED IN FLOOD ZONE X, COMMUNITY NUMBER 345281 MAP NUMBER 34029C0208C, EFFECTIVE DATE JUNE 20, 2018. PROPERTY LOCATED IN FLOOD ZONE AE (EL. 8), BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 30, 2015.
- UTILITIES ARE EXISTING AND SHALL REMAIN AND BE RECONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF EX. UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION. ALL UTILITIES MUST BE INSTALLED UNDERGROUND.
- FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
- THERE ARE NO WETLANDS ON SITE.
- THERE IS NO BELOW GRADE BASEMENT PROPOSED.
- A FOYER WITH A FLOOR THAT IS NOT 1 FOOT ABOVE THE BFE IS NOT PERMITTED.
- ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
- ALL NEW MATERIALS BELOW THE DESIGN FLOOD ELEVATION (BASE FLOOD ELEVATION 8.0 PLUS 1 FOOT OF FREEBOARD) SHALL BE FLOOD DAMAGE RESISTANT MATERIALS.
- DIRECT ROOF DRAINS AWAY FROM ADJACENT PROPERTIES AND TOWARDS ON SITE PERVIOUS GRAVEL AREAS.

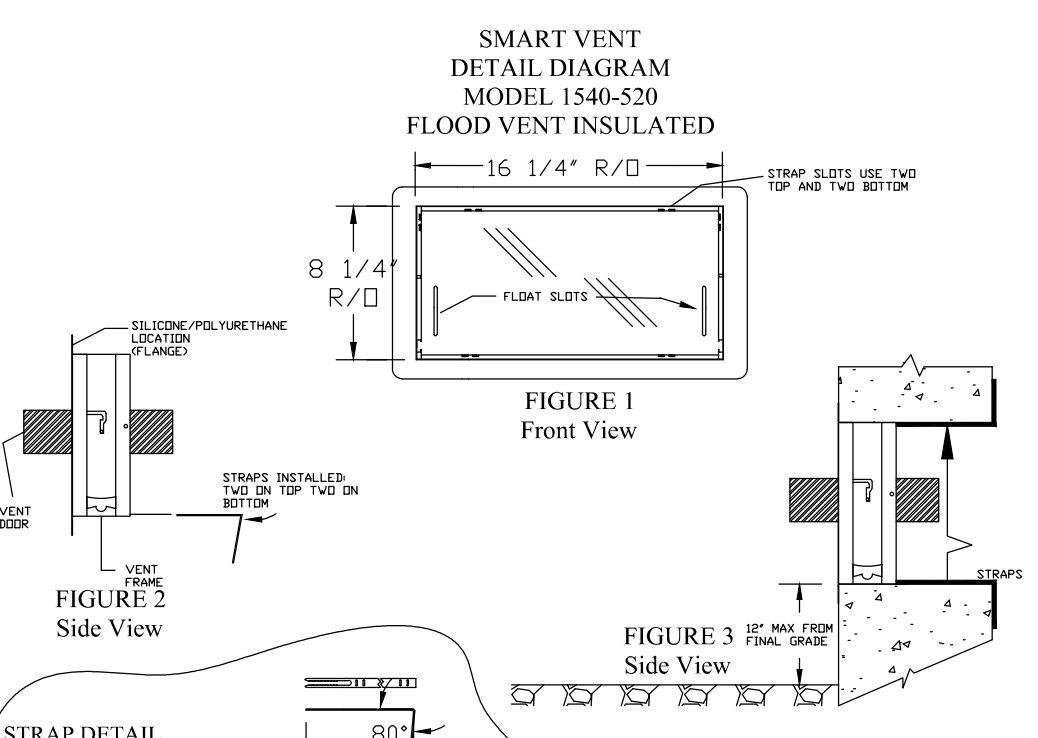


FLOOD VENT DIAGRAM
SCALE 1"=10'

355.2 S.F. ADDITION + 200 S.F. VENT = 2 VENTS REQUIRED 2 VENTS PROVIDED

FLOOD VENTS SHALL MEET THE FOLLOWING:

- THE INVERT OF EACH FLOOD VENT SHALL BE NO MORE THAN 12 INCHES ABOVE THE ADJOINING EXTERIOR GRADE OR INTERIOR SLAB.
- THE INVERT OF AT LEAST HALF OF THE FLOOD VENTS SHALL BE NO MORE THAN 12 INCHES ABOVE THE FLOOR OF THE BUILDING.
- THE COMBINED EFFECTIVE OPEN AREA OF THE FLOOD VENTS SHALL BE AT LEAST ONE SQUARE INCH PER SQUARE FOOT OF THE AREA OF THE FOOTPRINT OF THE BUILDING, UNLESS A SMALLER FEMA-APPROVED DEVICE WITH AN EQUIVALENT EFFECTIVE AREA IS UTILIZED; AND
- THE FLOOD VENTS SHALL NOT BE BLOCKED AT ANY TIME, BUT SHALL PERMANENTLY REMAIN OPEN SO THAT THE FLOODWATERS CAN FREELY ENTER THE BUILDING TO BALANCE HYDROSTATIC PRESSURE DURING A FLOOD.
- NO FLOOD VENT SHALL BE PLACED CLOSER THAN 3 FEET TO A GAS METER OR GAS CONSUMING APPLIANCE.
- SEE ARCHITECTURAL PLANS FOR FLOOD VENT DETAILS AND MODEL.
- ENGINEERED SMART FLOOD VENTS TO BE PROVIDED FOR ALL ENCLOSED AREAS OF THE LOWER LEVEL ON THE BASIS OF 1 VENT PER 200 SQ. FT. OF ENCLOSURE.



ZONING PERMIT DENIED

BY: _____
DATE: **07/17/2023**

NO.	DATE	REVISION DESCRIPTION	BY

Lindstrom, Diessner & Carr, P.C.
ENGINEERING ♦ SURVEYING ♦ PLANNING
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CHARLES E. LINDSTROM
PROFESSIONAL ENGINEER N.J. LIC. NO. 24602473900
PROFESSIONAL PLANNER N.J. LIC. NO. 33100233300

PLOT PLAN
LOT 53 BLOCK 12

BOROUGH OF BAY HEAD OCEAN COUNTY NEW JERSEY

DRAWN BY: JAR SCALE: 1"=10' DATE: 6/28/2023 SHEET: 1 OF 1 PROJECT: 23024