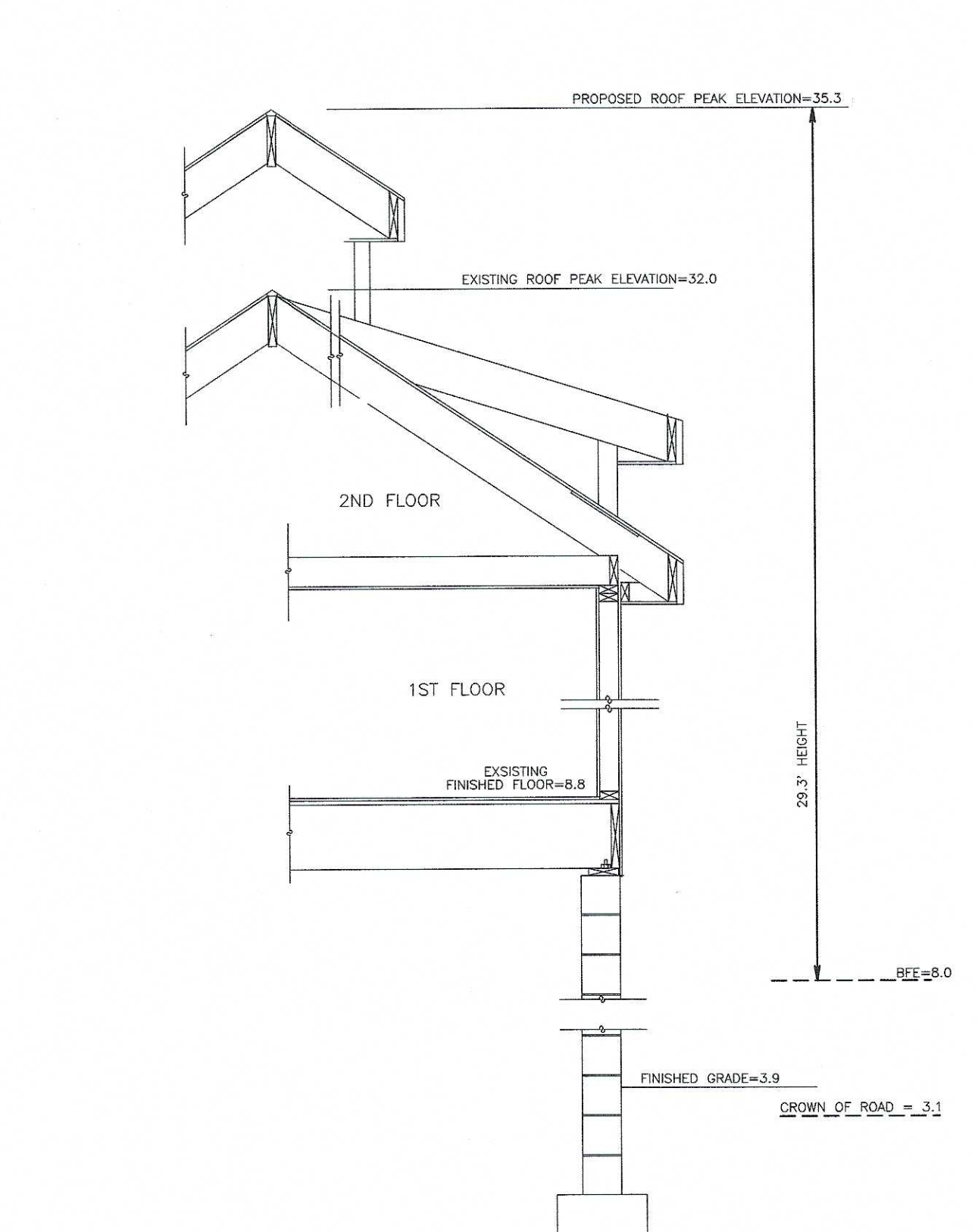
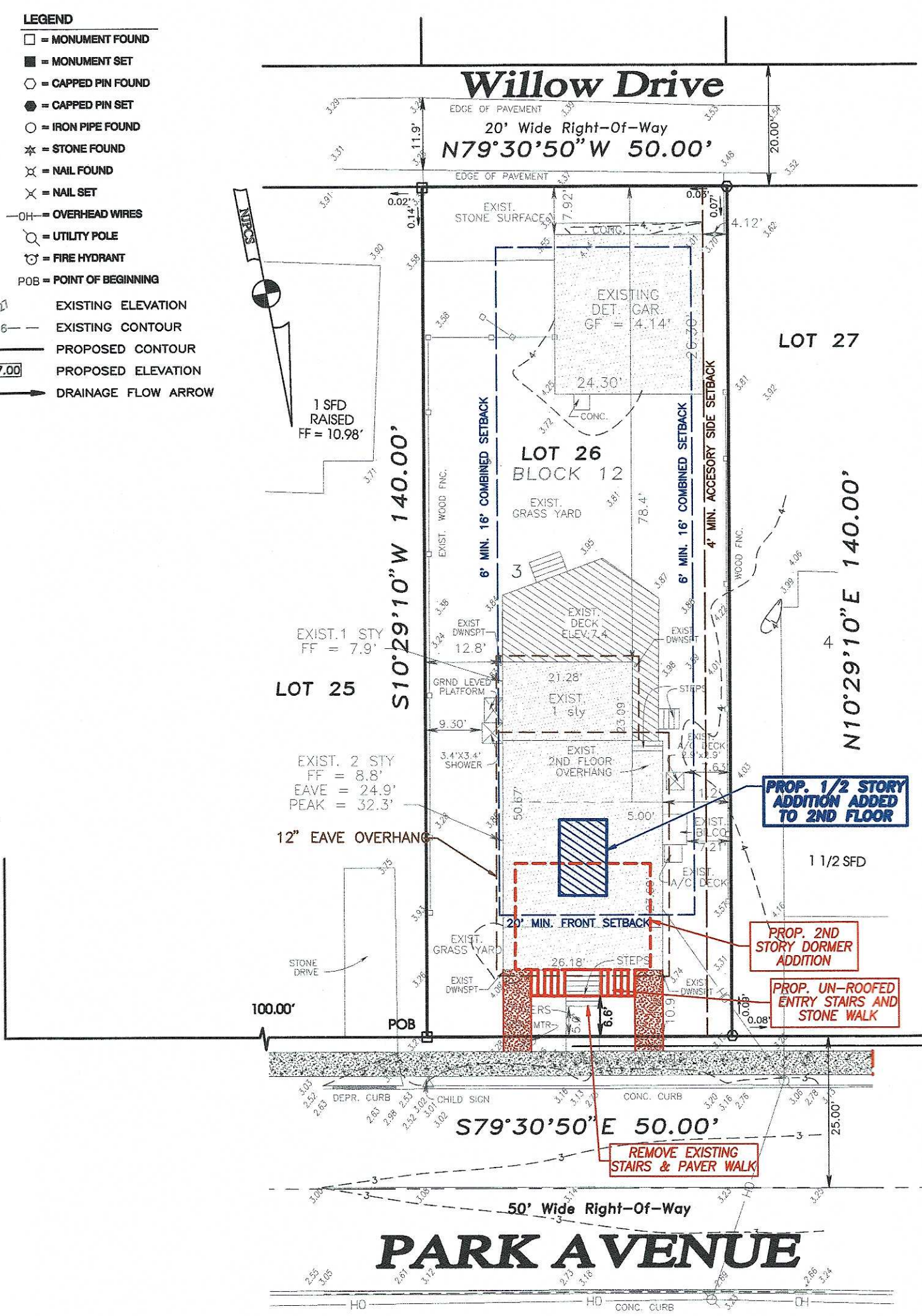


Holly Avenue  
50' Wide Right-Of-Way



SECTION DETAIL FOR BUILDING HEIGHT

R-50 ZONE REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	5,000 S.F.	7,000 S.F.	N/C
MINIMUM LOT WIDTH:	50.0 FT.	50.0 FT.	N/C
MINIMUM FRONT SETBACK:	20 FT.	10.9 FT.(EC)	N/C
MINIMUM REAR SETBACK:	10 FT.	78.4 FT.	N/C
MINIMUM SIDE SETBACK:	6 FT.	11.2 FT.	N/C
MINIMUM COMBINED SIDE SETBACK:	16 FT.	24.0 FT.	N/C
MAXIMUM BUILDING HEIGHT:	32.5 FT.	24.3 FT.(1)	29.3 FT.(1)
MAXIMUM BUILDING COVERAGE:	35%	33.5%	N/C
MAXIMUM LOT COVERAGE:	50%	34.6%	35.2%
ACCESSORY:			
MINIMUM SIDE LINE SETBACK:	4 FT.	4.1 FT.	N/C

BUILDING COVERAGE  
35% MAX. OF 7,000 SF = 2,450 SF

HOUSE = 1,255 SF  
WOOD DECK = 415 SF  
A/C DECKS = 16 SF  
BILCO DOORS = 20 SF  
GARAGE = 639

TOTAL = 2,345 SF 33.5%

LOT COVERAGE  
50% MAX. OF 7,000 SF = 3,500 SF

HOUSE = 1,255 SF  
WOOD DECK = 415 SF  
A/C DECKS = 16 SF  
BILCO DOORS = 20 SF  
GARAGE = 639

REAR STEPS = 20 SF  
SIDE STEPS = 11 SF

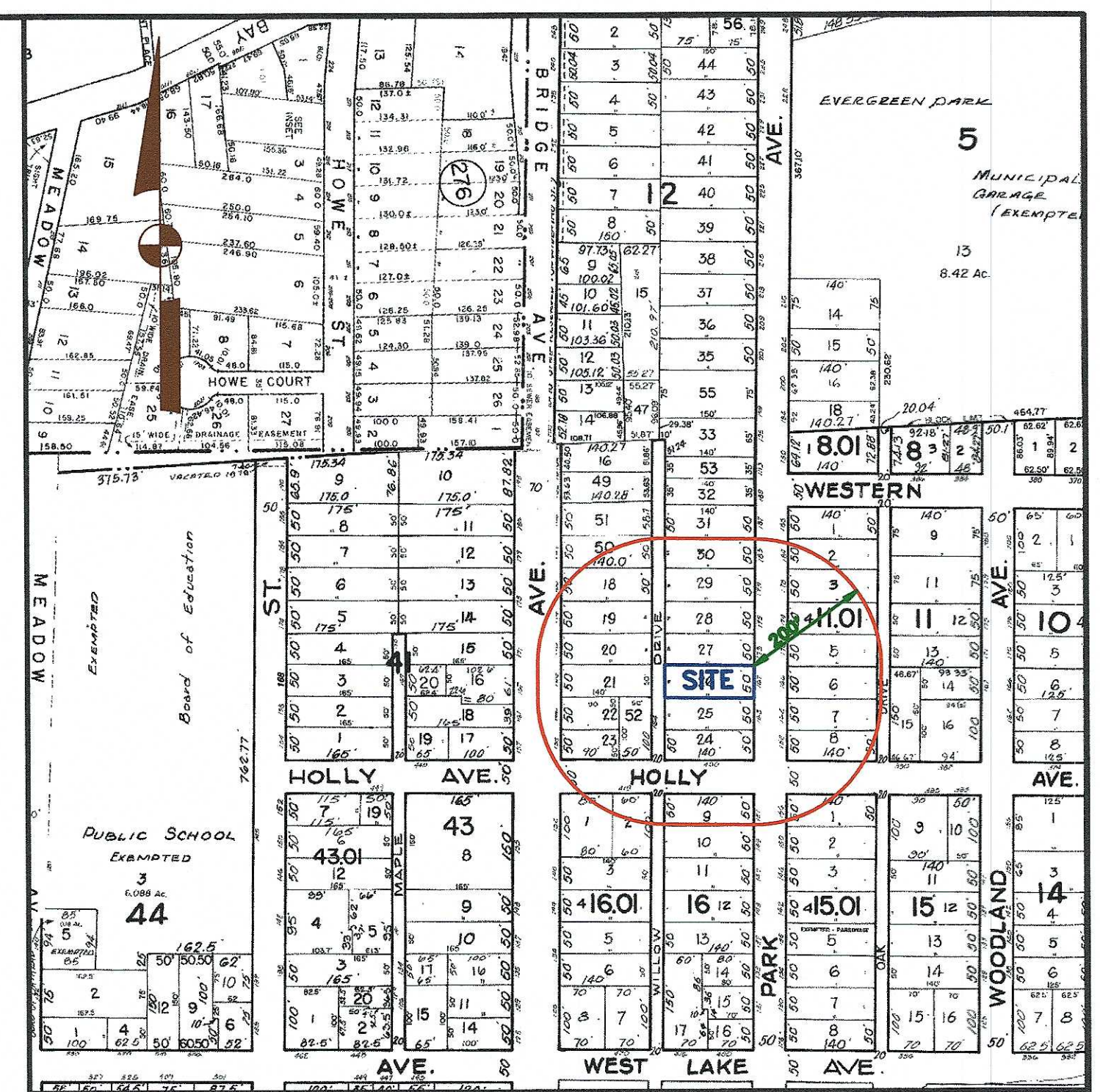
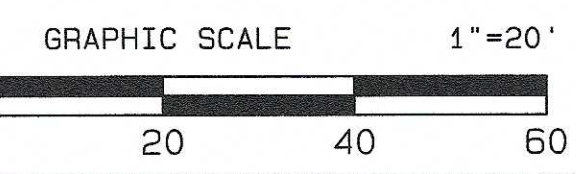
FRONT STEPS = 34.5 SF (existing)  
FRONT STEPS = 73.6 SF (proposed)

TOTAL = 2,421.5 SF 34.6 %-EXISTING  
= 2,460.6 SF 35.2 %-PROPOSED

- NOTES:
- 1.) THE PROPERTY CURRENTLY CONTAINS A 2 STORY DWELLING. THE APPLICANT PROPOSES ADD A 2ND STORY DORMER AND A HALF STORY TO EXISTING DWELLING AND RECONFIGURE FRONT ENTRY.
  - 2.) EXISTING FINISHED FLOOR ELEVATION = 8.8
  - 4.) PLAN BASED ON SURVEY BY EAST COAST ENGINEERING, INC., DATED 01/14/2022.
  - 5.) ELEVATION BASED ON NAVD 1988 VERTICAL DATUM.
  - 6.) SITE LOCATED IN FLOOD HAZARD X ZONE (1988 DATUM) AS PER FLOOD INSURANCE RATE MAP, PANEL 208 OF 611, COMMUNITY NO. 345281 0208 F, MAP No. 34029C0208F, EFFECTIVE JUNE 20, 2018.
  - \*\*\*AS PER FEMA PRELIMINARY FIRM MAP 34029C0208G DATED 01/30/2015 THIS SITE IS LOCATED IN "ZONE AE EL 8".
  - 7.) WATER AND SEWER SERVICE IS TO BE PROVIDED BY EXISTING MUNICIPAL UTILITIES.
  - 8.) HOUSE DIMENSIONS OBTAINED FROM PLANS PREPARED BY ERIC SHEFFIELD ARCHITECT DATED 9-16-20.
  - 9.) STORMWATER RUNOFF IS TO BE DIRECTED TOWARD PERMEABLE SURFACES. ALL DOWNSPOUTS SHALL CONNECT TO PIPES TO PIPES THAT DRAIN THROUGH CURB. (SEE DETAIL)
  - 10.) NO WETLANDS ARE PRESENT ON LOT 26.
  - 12.) NO PLASTIC LINERS ARE TO BE USED UNDER STONE, GRAVEL, OR LANDSCAPED AREAS.
  - 13.) A SILT FENCE IS TO BE ERECTED PRIOR TO AND THROUGHOUT CONSTRUCTION.
  - 14.) BUILDER TO VERIFY THAT THE VERTICAL DISTANCE OF THE BUILDING MEASURED FROM THE BASE FLOOD ELEVATION TO THE ROOF PEAK IS NOT TO EXCEED 32.5 FEET.
  - 15.) BUILDER SHALL VERIFY THAT DWELLING IS CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE BUILDING REQUIREMENTS FOR FLOOD ZONES, SUCH AS FLOOD VENTING, FREEBOARD, GRADING, UTILITIES, ETC...
  - 16.) TWO PARKING SPACES REQUIRED PER DWELLING UNIT. ONE GARAGE SPACE AND ONE DRIVEWAY SPACE PROVIDED.
  - 17.) VARIANCES REQUIRED:  
FRONT SETBACK, 20 FT REQUIRED, 10.9 FT EXISTING CONDITION- NO CHANGE  
FRONT ENTRY STAIRS SETBACK, 5.0 FT EXISTING, 6.9 FT PROPOSED.

(1) PROPERTIES LOCATED IN A FLOOD HAZARD ZONE THE BUILDING HEIGHT SHALL BE MEASURED EITHER FROM THE BASE FLOOD ELEVATION OR FROM THE CROWN OF ROAD, WHICHEVER RESULTS IN A HIGHER BUILDING.

(EC) = EXISTING NON-CONFORMING CONDITION  
(N/C) = NO CHANGE  
(N/A) = NOT APPLICABLE



KEY MAP  
SCALE: 1" = 200'

PROPERTY ADDRESS:  
167 PARK AVENUE  
BAY HEAD, NJ 08742

OWNER/APPLICANT:  
ERIC SHEFFIELD  
164 WEST 79TH STREET  
NEW YORK, NY 10014

META DATA  
UNITS: USFT  
HORIZONTAL DATUM: NAD 1983  
VERTICAL DATUM: NAVD 1988

## PLOT PLAN

**BLOCK 12 LOT 26**  
BOROUGH OF BAY HEAD  
OCEAN COUNTY, NEW JERSEY

**East Coast Engineering, Inc.**

JAY F. PIERSON, PLS, PP  
ROBERT J. HARRINGTON, PE  
JASON M. MARCIANO, PE, PP

ENGINEERING PLANNING LAND SURVEYING GPS

(732) 244-3030 VOICE 508 MAIN STREET  
(609) 693-2800 VOICE TOMS RIVER, NJ 08783  
(732) 244-3044 FAX www.eceinc.net

CERTIFICATE OF AUTHORIZATION No. 24627935600

JAY F. PIERSON, P.L.S., P.P.  
NEW JERSEY PROFESSIONAL LAND SURVEYOR 27492  
NEW JERSEY PROFESSIONAL PLANNER 02525

ROBERT J. HARRINGTON, P.E.  
NEW JERSEY PROFESSIONAL ENGINEER 39320

JOB No.: 20210554	TAX MAP SHEET No.: 1
DRAWN BY: RJH/KRH	SCALE: 1"=20'
CHECKED BY: RJH	DATE PREPARED: 02/17/2022

Project Desc.: Path: J:\2021\20210554\20210554.pro Plot Date/Time: Tue Jan 17, 2023 / 18:57:20