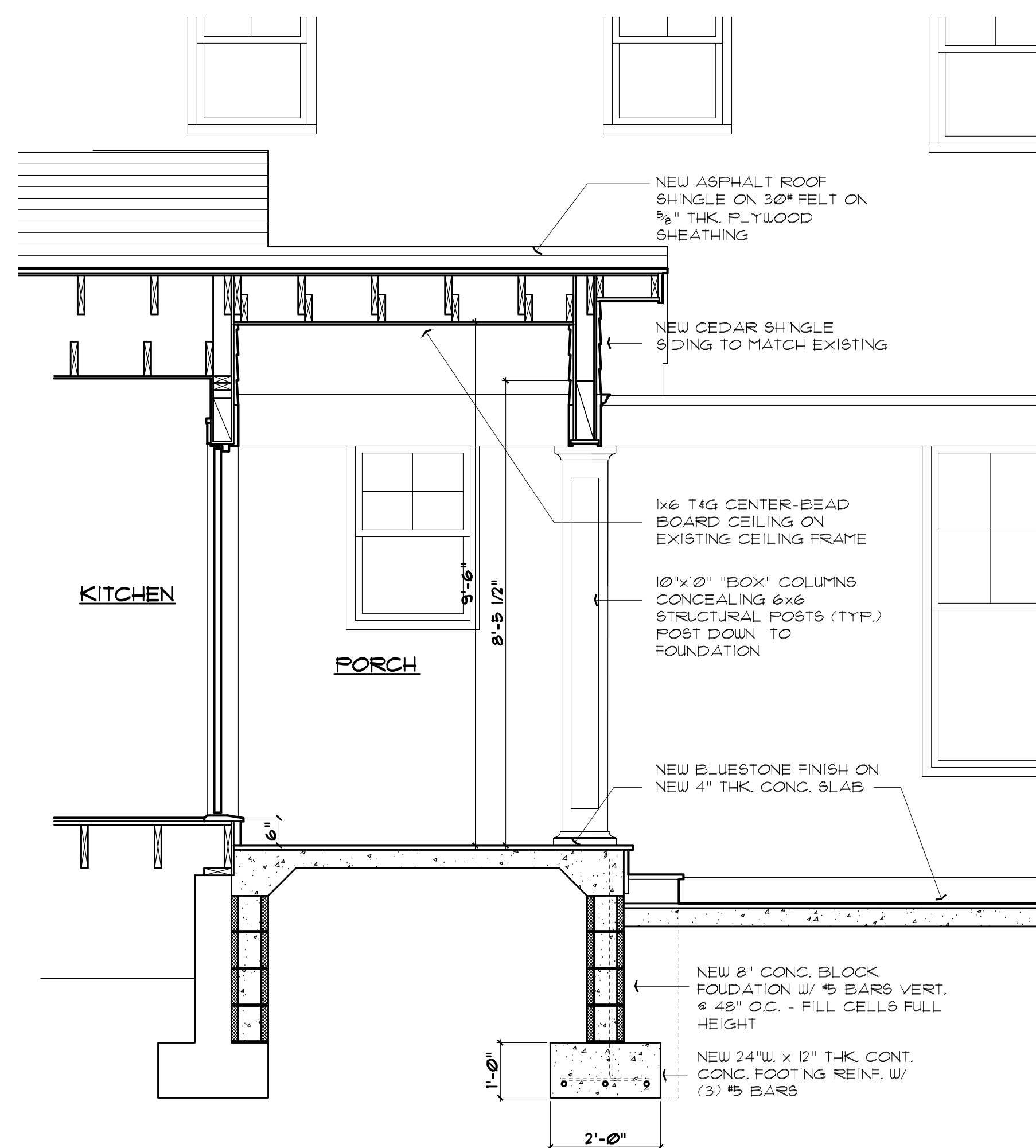


revisions	date
1.	
2.	
3.	
4.	

project number
 2225



3
 Section
 SCALE: 1/2" = 1'-0"



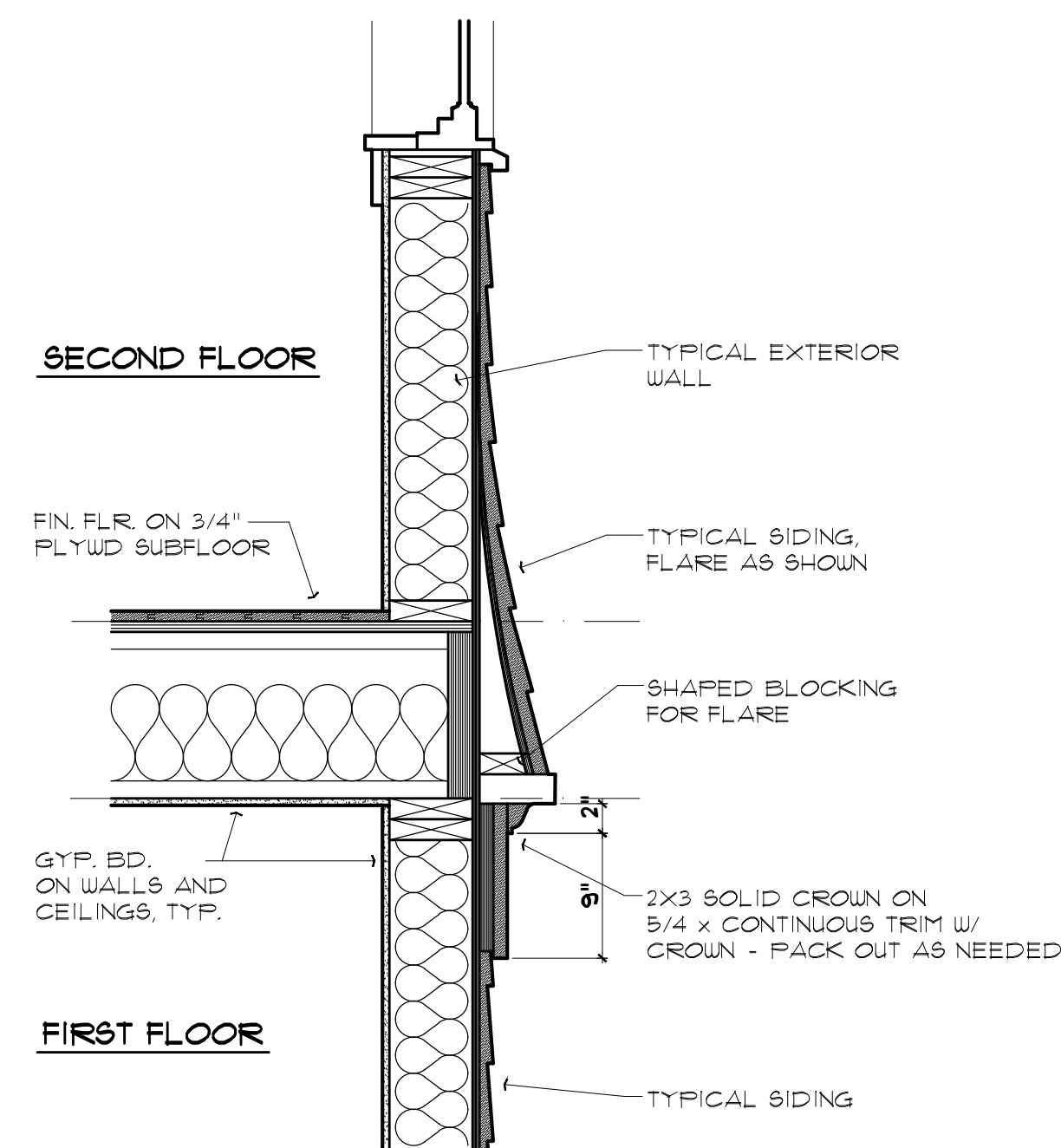
2
 North Elevation
 SCALE: 1/4" = 1'-0"



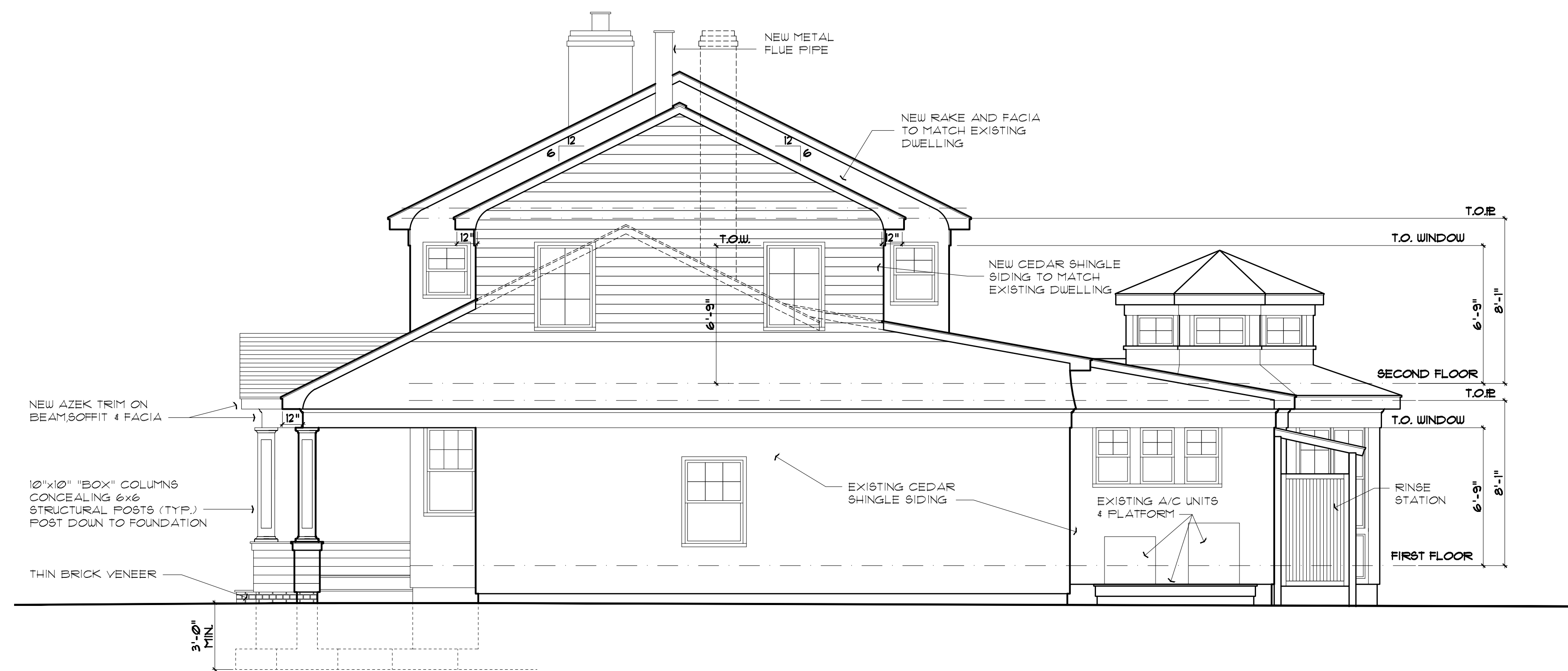
1
 West Elevation
 SCALE: 1/4" = 1'-0"

revisions	date
1.	
2.	
3.	
4.	

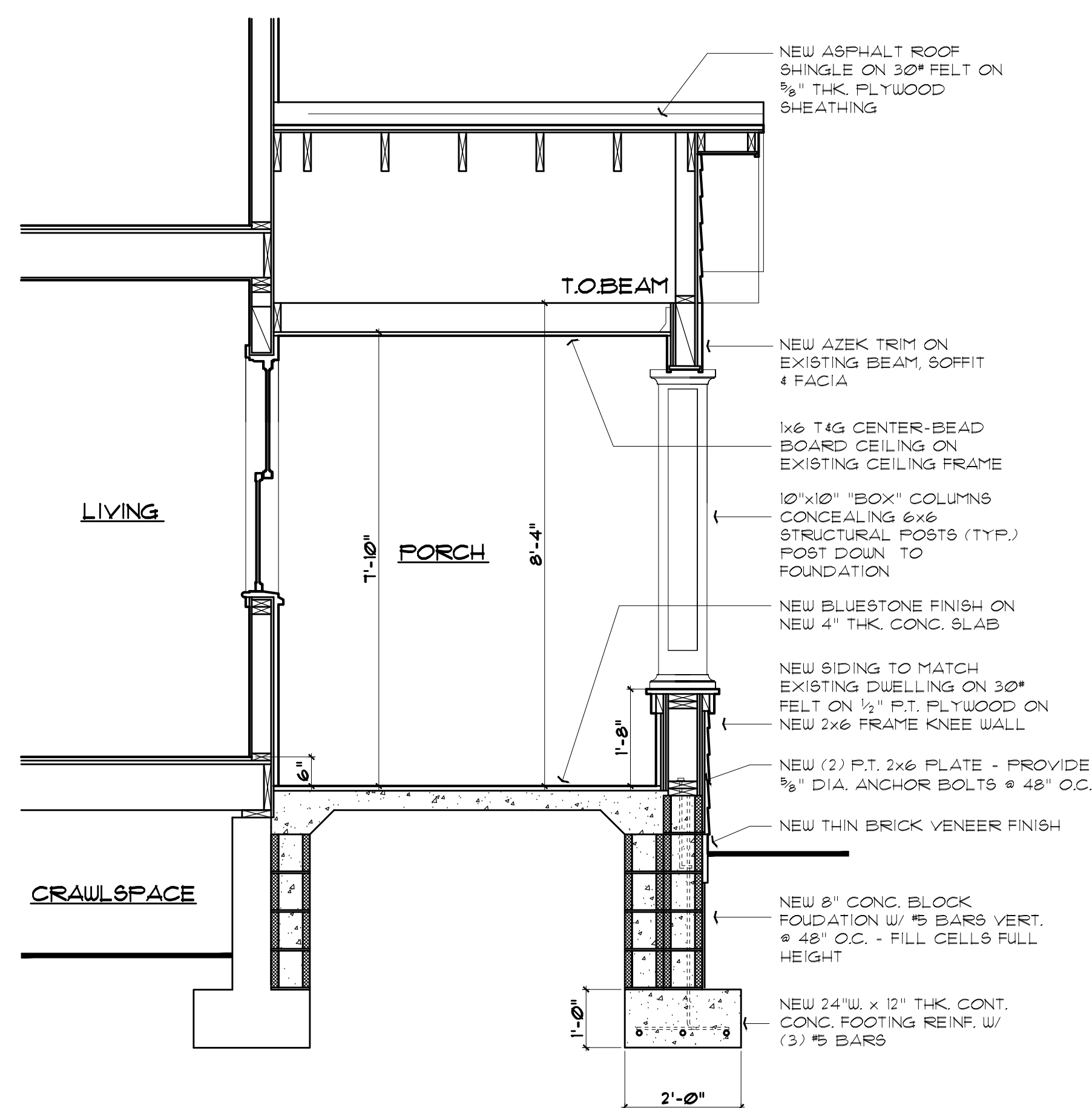
project number
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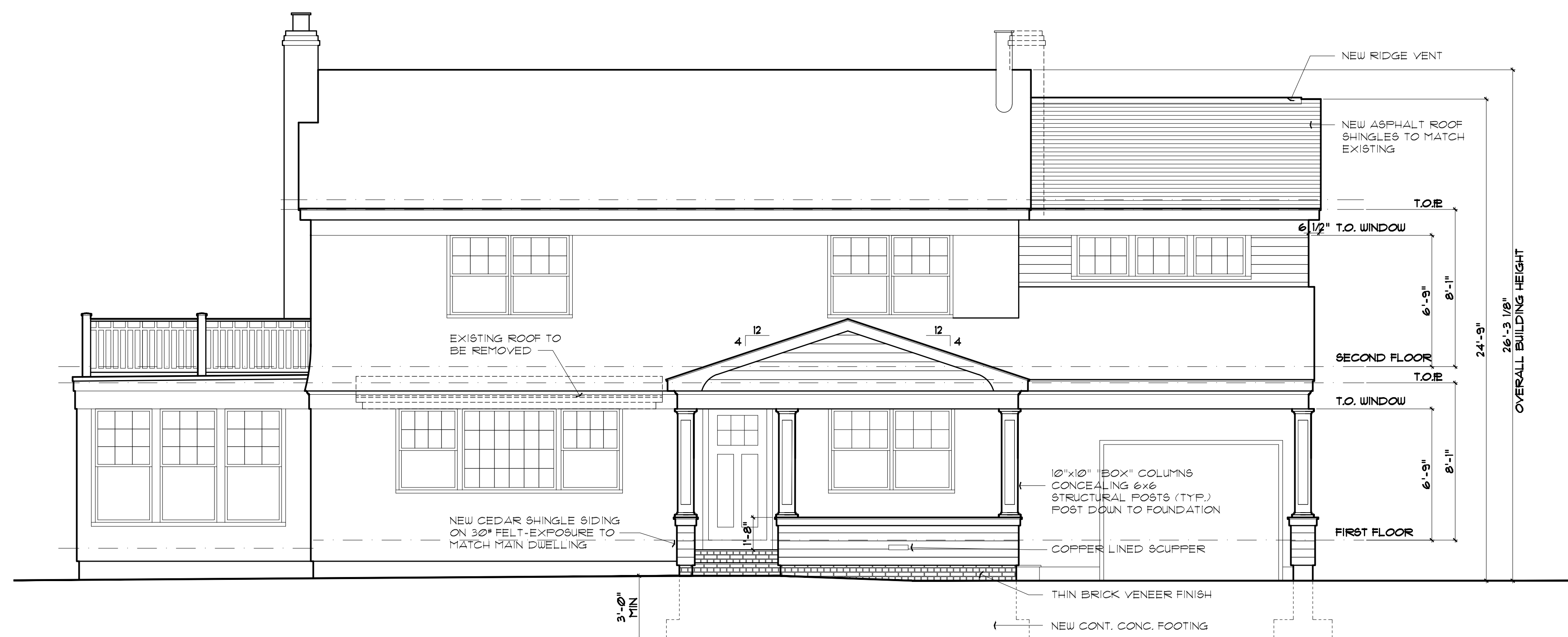
4 Flare Detail
 SCALE: 1" = 1'-0"



1 East Elevation
 SCALE: 1/4" = 1'-0"



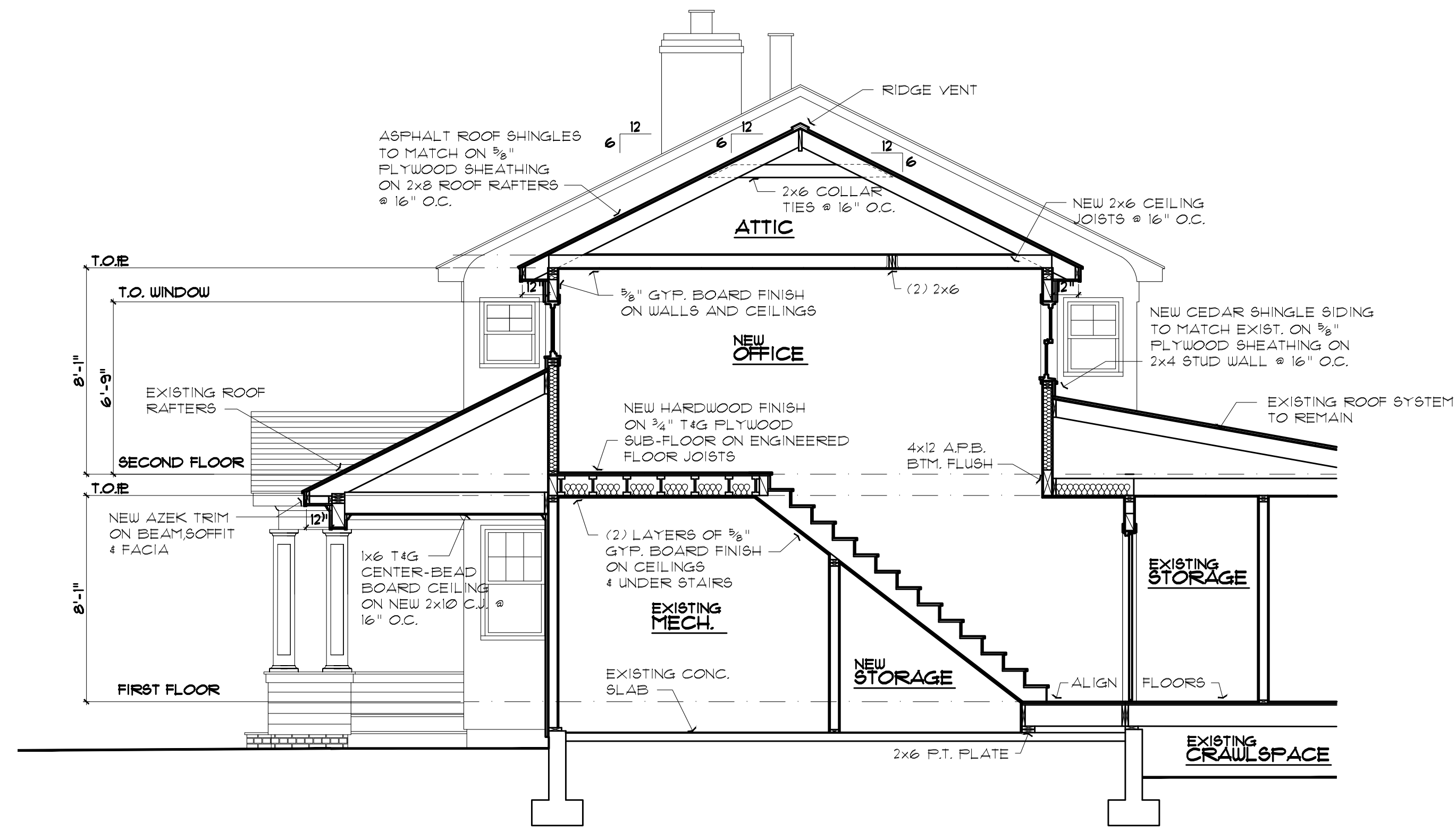
3 Section
 SCALE: 1/2" = 1'-0"



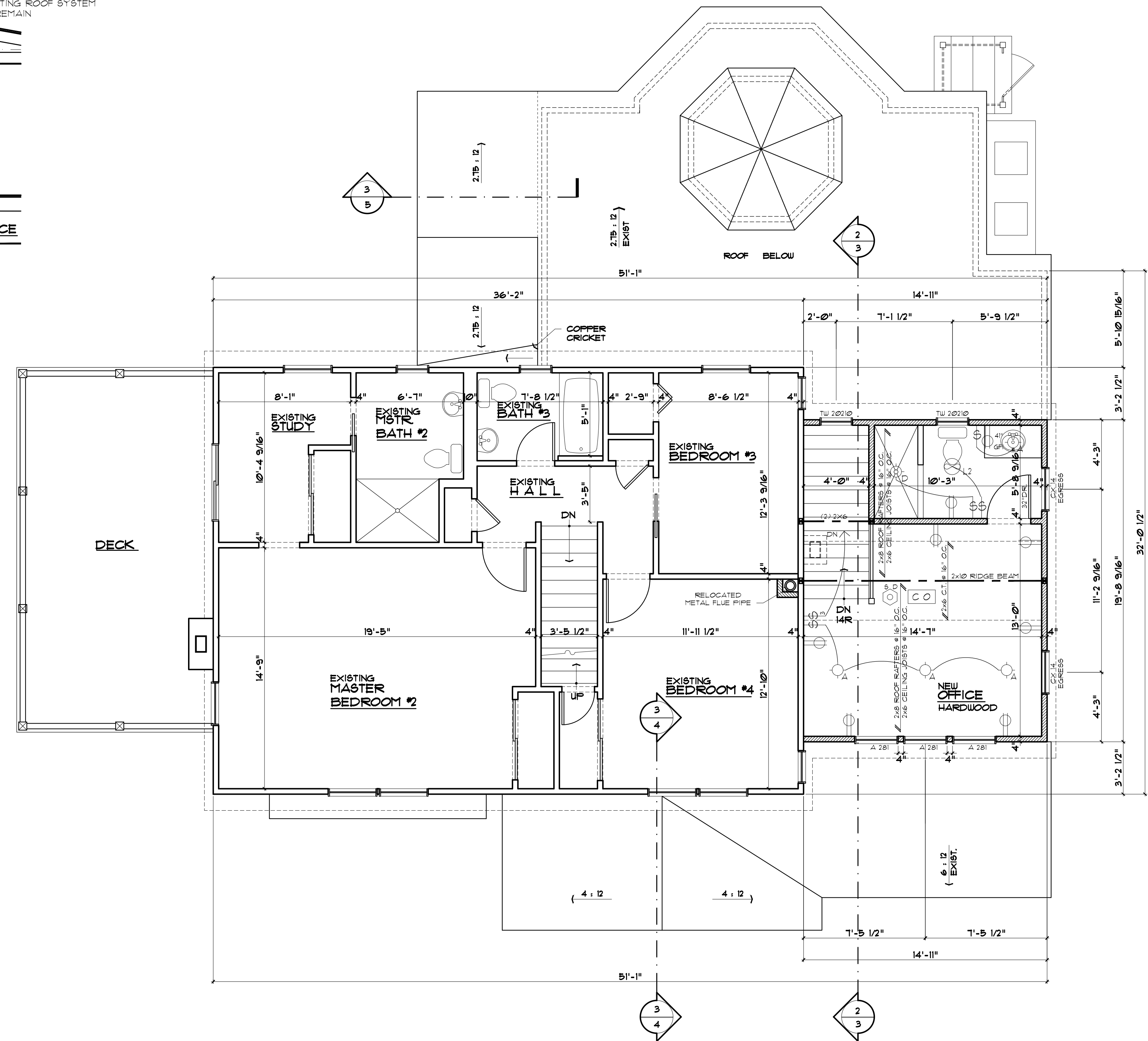
2 South Elevation
 SCALE: 1/4" = 1'-0"

revisions	date
1.	
2.	
3.	
4.	

project number
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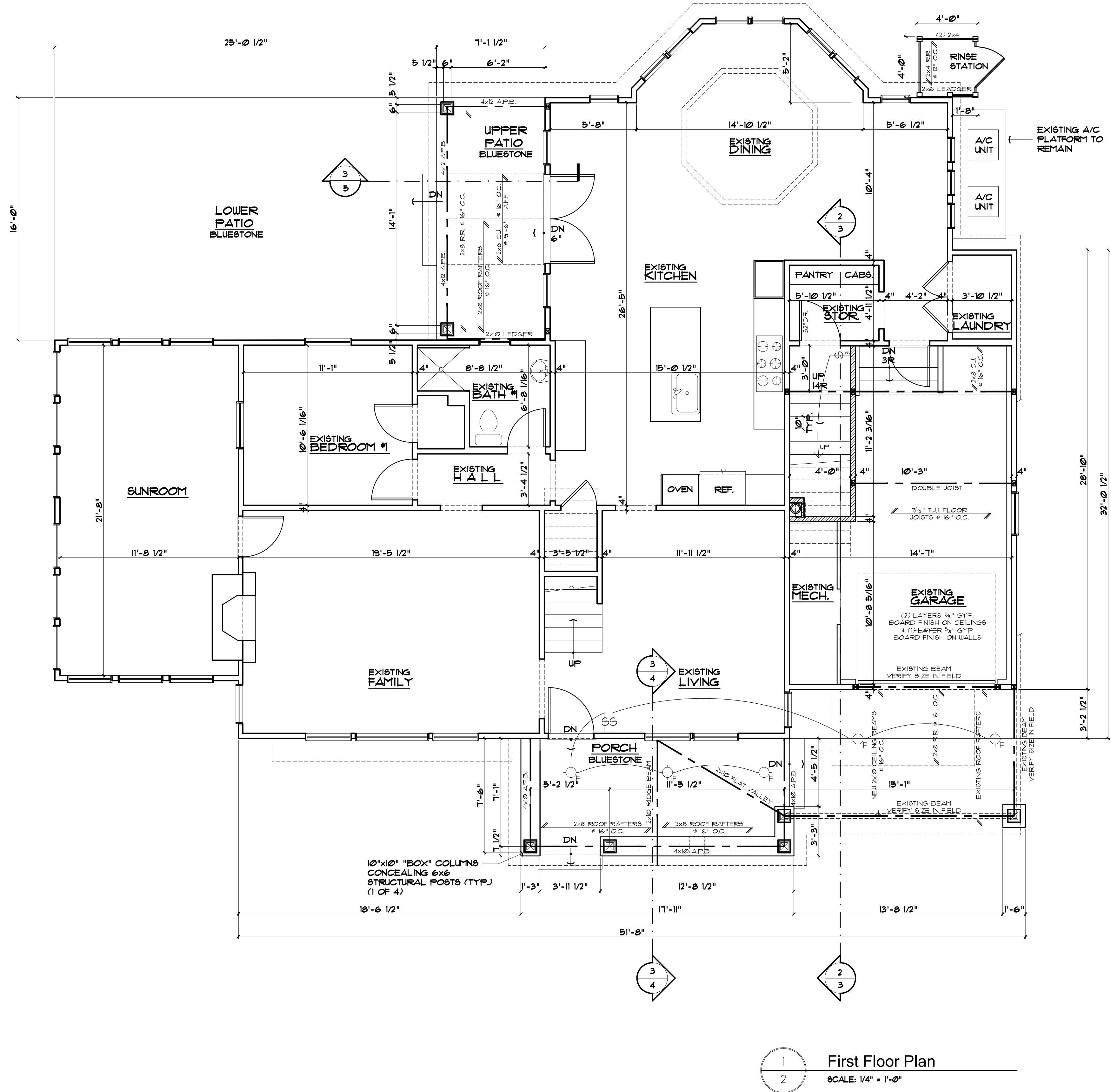
2 Garage Section
 3 SCALE: 1/4" = 1'-0"



1 Second Floor Plan
 3 SCALE: 1/4" = 1'-0"

revisions	date
1.	
2.	
3.	
4.	

project number
2225



1 First Floor Plan
2 SCALE: 1/4" = 1'-0"

revisions	date
1.	
2.	
3.	
4.	

project number
2225

Code Information:

USE GROUP CLASS:	R-5
CONSTRUCTION TYPE:	5B

1. BUILDING CODE:
THESE PLANS HAVE BEEN PREPARED AS PER THE REGULATIONS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AND THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE. THE WORK OF ALL CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS OF THE AFOREMENTIONED CODES.

General Notes:

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY HOMEOWNER/ARCHITECT OF ANY CONFLICTS/CONCERNS WITH PROPOSED WORK.
- WINDOWS:
NEW WINDOWS AND TO BE ANDERSEN BRAND "400 SERIES" UNITS UNLESS NOTED OTHERWISE. SAFETY GLAZING- ALL WINDOWS THAT ARE MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW ARE TO BE INSTALLED SO THAT THE LOWEST PART OF THE CLEAR OPENING IS GREATER THAN 24" ABOVE THE FINISHED FLOOR. NOTE GRILL PATTERN ON ELEVATIONS.

Design Loads:

	LIVE	DEAD
FLOOR DESIGN LOADS:	40 PSF	20 PSF
ROOF DESIGN LOADS:	20 PSF	10 PSF
CEILING JOIST DESIGN LOADS:	20 PSF	10 PSF

WIND LOADS:
THE STRUCTURE HAS BEEN DESIGNED TO ACCOMMODATE A WIND SPEED OF 125 MPH AND A BASIC VELOCITY PRESSURE OF 28 PSF, AS REQUIRED FOR THIS LOCATION.

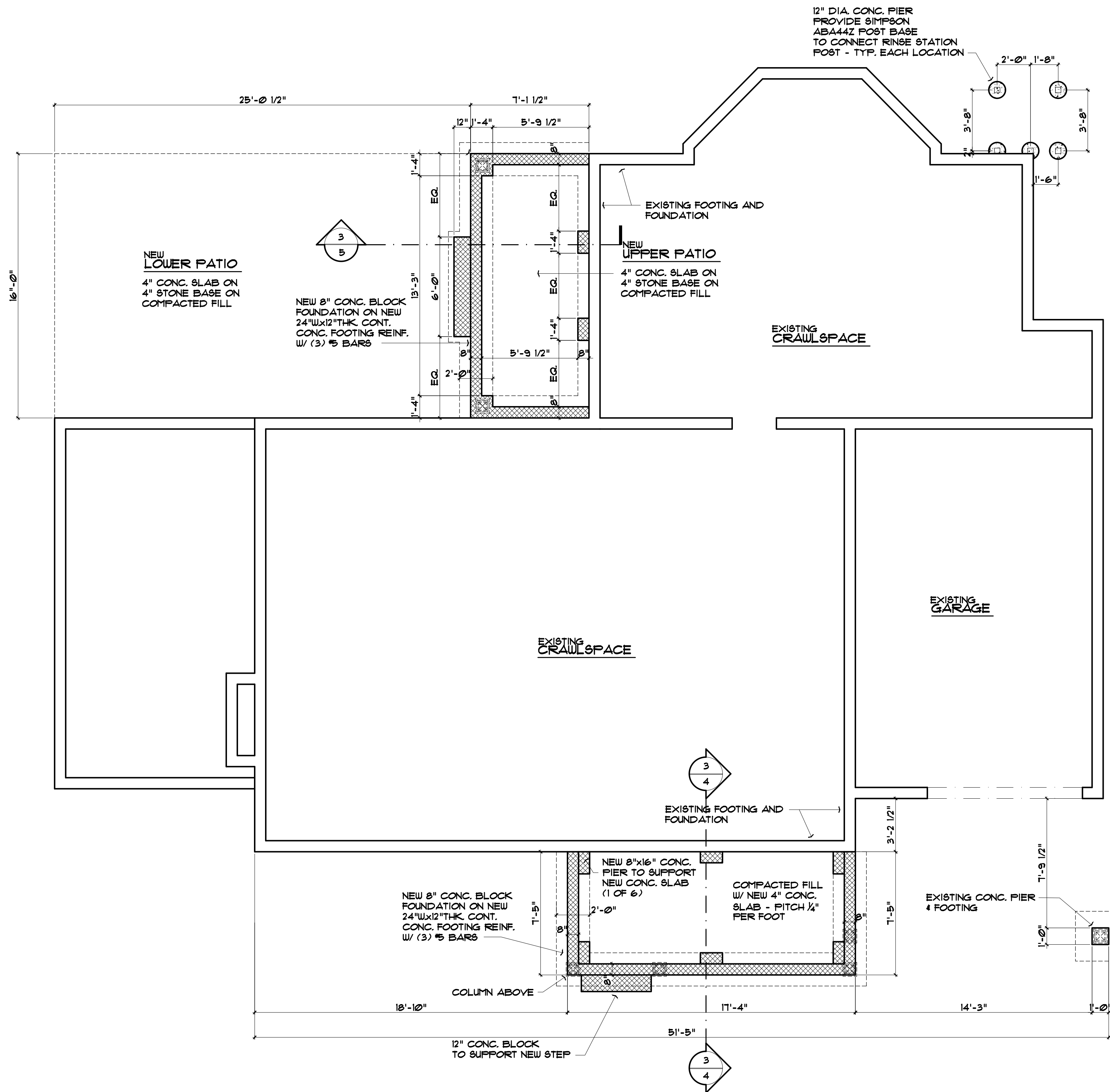
Legend for Floor Plans:

- EXIST. MASONRY CONSTRUCTION TO REMAIN
- NEW MASONRY CONSTRUCTION
- EXISTING WOOD FRAME CONSTRUCTION TO REMAIN
- NEW WOOD FRAME CONSTRUCTION
- EXIST. MASONRY FOOTING TO REMAIN
- LINES OF CONSTRUCTION ABOVE
- BEAM ABOVE
- POST
- RECESSED EXTERIOR DOWNLIGHT 1000 W/ LEXAN FLUSH OPAL/EX DIFFUSER W/ A T5W LAMP
- RECESSED DOWNLIGHT - LYTECASTER 2000 (C SERIES) W/ 100 WATT LAMP MAX.
- STANDARD DUPLEX RECEPTACLE LUMEA BY LUTRON OR EQUAL
- SINGLE POLE SWITCH LUMEA BY LUTRON OR EQUAL
- THREE WAY SWITCH LUMEA BY LUTRON OR EQUAL
- A/C SMOKE DETECTOR INTERCONNECT W/ ALL UNITS SO IF ONE IS ACTIVATED ALL SOUND, BOCAL APPROVED PHOTO-ELEC TYPE
- CARBON MONOXIDE DETECTOR AND ALARM, IBC APPROVED

Structural Notes:

- THE STRUCTURE IS TO BE CONSTRUCTED IN COMPLIANCE WITH THE ATTACHED FASTENING SCHEDULE AS STIPULATED IN THE 20015 INTERNATIONAL RESIDENTIAL CODE, SECTION R602.3.
- ALL HEADERS IN INTERIOR & EXTERIOR WALLS UNDER 3'-6" IN LENGTH TO BE 4x10 (NOMINAL) ANTHONY POWER BEAM. ALL HEADERS OVER 3'-6" IN LENGTH TO BE 4x12 (NOMINAL) ANTHONY POWER BEAM OR AS NOTED ON PLANS.
- ALL POSTS AT HEADER & GIRDER BEARING LOCATIONS SHALL BE (2) 2x4 AT 4" NOMINAL WALLS AND (2) 2x6 AT 6" NOMINAL WALLS UNLESS NOTED OTHERWISE. PROVIDE FULL-HEIGHT KING STUD NAILED TO ENDS OF HEADERS & DROPPED GIRDERS & TO FACE OF POSTS.
- ALL POSTS SHALL BE BLOCKED @ VOIDS BETWEEN FLOOR JOISTS INCLUDING PROVISIONS FOR SAME SIZE POSTING BELOW @ LOWER FLOOR LEVELS TO CARRY BEARING DOWN TO GIRDERS OR TO FOUNDATION WALLS - SUCH POSTING / BLOCKING SHALL BE PROVIDED EVEN IF NOT INDICATED ON THE DRAWINGS.
- PROVIDE SQUASH BLOCKS @ BOTH SIDES OF JOISTS & WEB STIFFENERS @ BOTH SIDES OF JOISTS ABOVE ALL INTERIOR WALLS INCLUDING JOISTS OVER GIRDERS & HEADERS.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS
- ALL RAFTERS SHALL BE NAILED TIGHT ALONGSIDE CEILING JOISTS WHEREVER POSSIBLE
- PROVIDE SIMPSON "H10" HURRICANE TIES @ ALL RAFTERS TO TOP PLATE OR RAISED PLATE & PROVIDE SIMPSON "H10-2" HURRICANE TIES @ ALL DOUBLE RAFTERS.
- PROVIDE MANUFACTURER'S MAXIMUM NAILING SCHEDULE FOR ALL WOOD CONNECTORS EXCEPT AS NOTED
- ALL WOOD CONNECTORS SHALL BE SIMPSON STRONGTIE CONNECTORS W/ Z MAX (G185) COATING OR HOT DIPPED GALVANIZED, ALL FASTENERS SHALL BE HOT-DIPPED GALVANIZED.

Plan North



1
1
Foundation Plan
SCALE: 1/4" = 1'-0"