

# Borough of Bay Head

81 Bridge Avenue  
Bay Head, NJ 08742  
(732)892-0638

## Zoning Permit

Block 5 Lot 12  
1606 Bay Avenue

Permit No.

Status

**DENIED**

Status Date

10/12/2023

Applicant:

Verity & Andy Frizzell  
1606 Bay Avenue  
Bay Head, NJ 08742

Real Estate Owner

Verity & Andy Frizzell  
1606 Bay Avenue  
Bay Head, NJ 08742

### Detailed Description of Project

Renovation of existing dwelling, proposed 12'x 20' pool, proposed paver patio and walkway, proposed 12'x 24' shed with groundwater recharge trenches.

### Specific Use Proposed

Residential

### Specific Use Now

Residential

Zone R50

Permit Type Zoning Permit

Applic Accept'd

Property is

Request

### Application Response

#### Disposition Narrative

Lot is a conforming lot located within the R50 zone. Existing dwelling conforms with all setback and coverage requirements of zone. Existing shed is nonconforming to 6-foot minimum side yard (south side).

Proposed dwelling renovation reduces the south side yard setback from 6 feet to 5.5 feet which is nonconforming. Proposed walkway is nonconforming with minimum setback of 3 feet (south side). All remaining setbacks for dwelling and accessory structures are conforming. Proposed building coverage and lot coverages are conforming.

Runoff from proposed new impervious coverage will be retained on-site which conforms with Grade definition requirements.

#### Approval Checklist ('Y'=

DENIED due to nonconforming side yard setbacks for dwelling and walkway (south side).

Applicant may submit conforming plan or seek approval of proposed nonconformities from Planning Board

#### Plans Reviewed

-Proposed Plot Plan, 1606 Bay Avenue, Lot 12 Block 5, one sheet prepared by Christopher P. Rosati, P.E. on 09/15/23 and last revised 10/11/2023; Project No. 5570.0001

-Proposed Alteration for Verity & Andy Frizzell, 1606 Bay Avenue, Lot 12 Block 5, 11 sheets in number and prepared by Verity Frizzell, RA on August 20, 2023.



Paul E. Pogorzelski, P.E.  
Van Cleef Engineering Associates - Zoning Officer

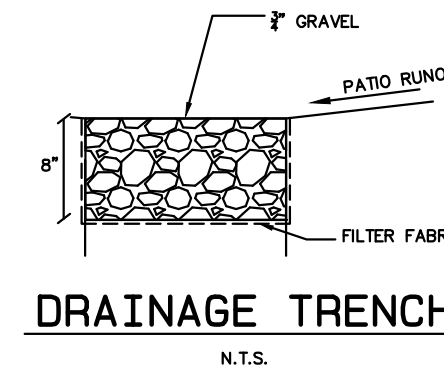
**ZONE R-50 REQUIREMENTS**

	REQUIRED 5,000 SF	EXISTING 9,107 SF	PROVIDED 9,107 SF
LOT AREA			
LOT FRONTAGE	50 FT	51.87 FT	51.87 FT
LOT WIDTH	50 FT	50 FT	50 FT
FRONT YARD SETBACK	20 FT	29.7 FT	29.7 FT
SIDE YARD SETBACK	6/16 FT	6/18.9 FT	5.5 FT * 18.4 FT
ACCESSORY (SHED)	4 FT	3.8 FT *	4.2 FT
POOL	5 FT	NA	5.1 FT
REAR YARD SETBACK	10 FT	68.8 FT	68.2 FT
ACCESSORY (SHED)	4 FT	42 FT	43.2 FT
POOL	5 FT	NA	37 FT
MAX BUILDING COVERAGE	35%	<b>22.4% (2,041 SF)</b> House 1702 SF Cov porches 172 SF Shower 21 SF Shed 147 SF	<b>26.8% (2,241 SF)</b> 2241 SF 1849 SF 304 SF 288 SF
MAX STRUCTURE COVERAGE	50%	<b>43.3% (3,945 SF)</b> Building coverage 2041 SF Paver drive 493 SF Paver walk/patio 764 SF Concrete patio 268 SF Stone wall/steps 107 SF Pool & coping NA Deck, uncov steps 70 SF Bsmnt access 30 SF AC & Pool equipment 18 SF Public sidewalk 154 SF	<b>49.4% (4,501 SF)</b> 2241 SF 733 SF 800 SF NA NA 329 SF 17 SF NA 27 SF 154 SF
MAX BLDG HEIGHT	35 FT	28.5 FT	28.5 FT
STORIES	2.5	2	2
ACCESSORY STRUCTURE HEIGHT	16 FT	10.2 FT	13.8 FT

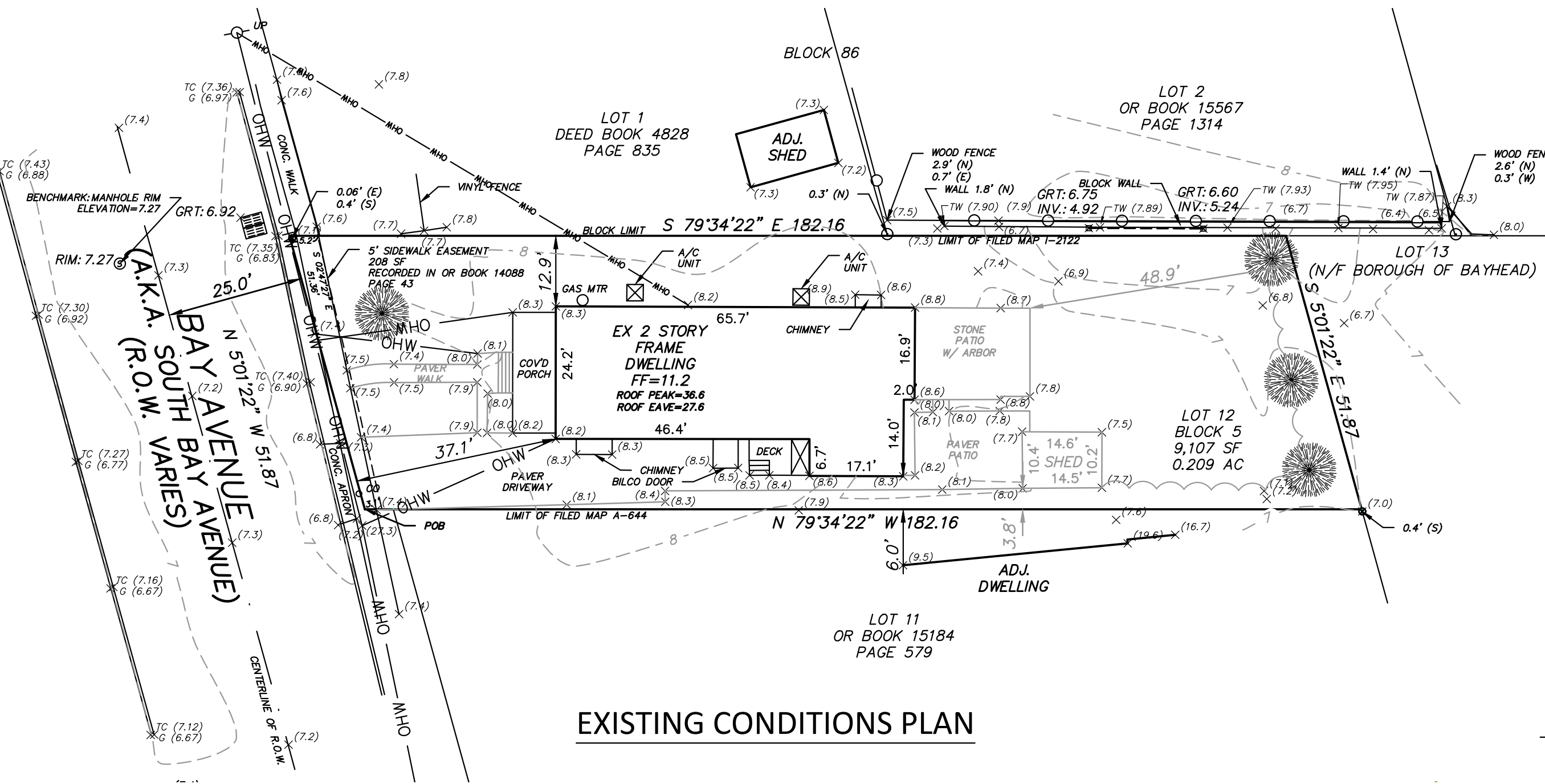
\*EXISTING CONDITION  
\*\*VARIANCE REQUIRED

**NOTES:**

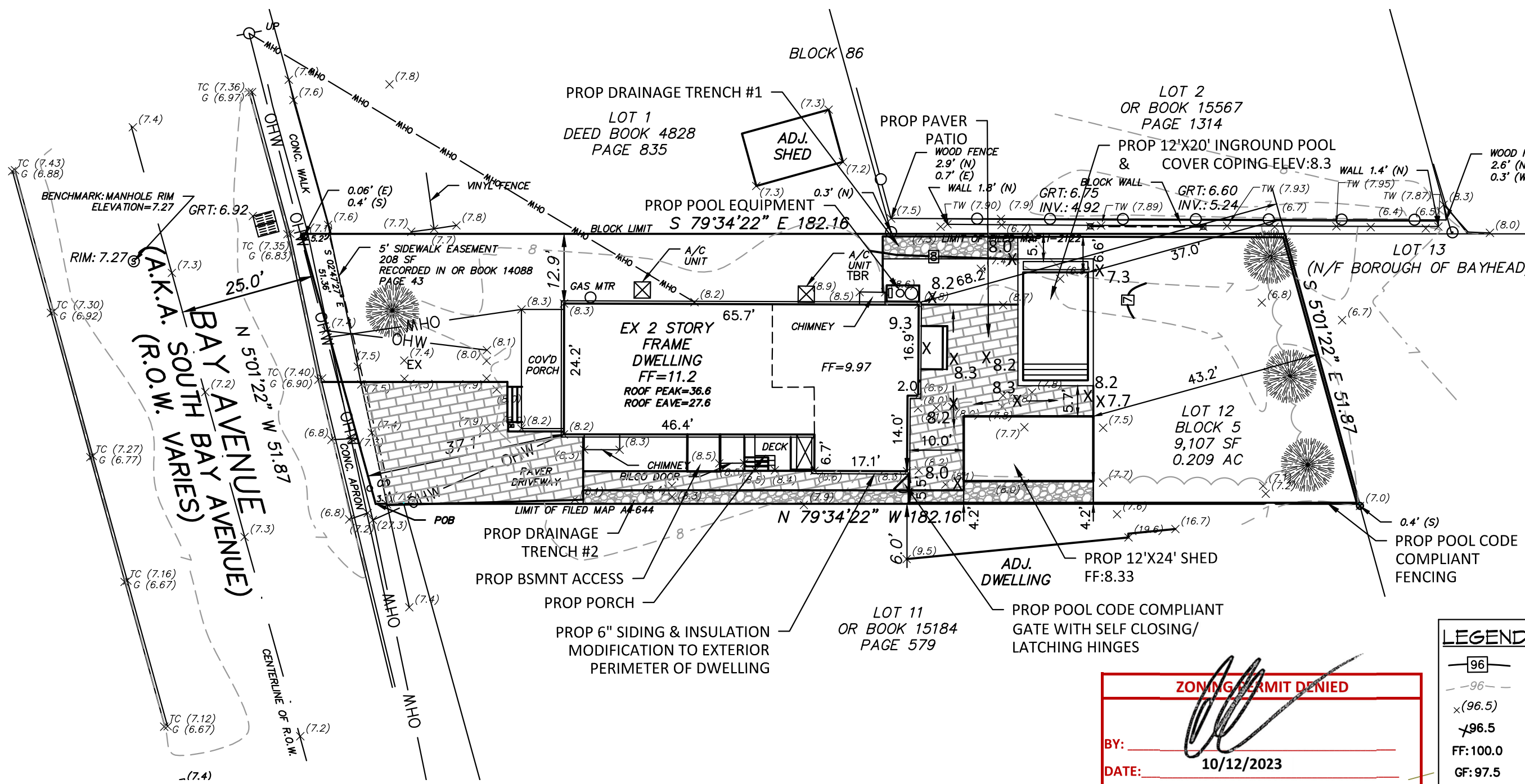
- PROPERTY KNOWN AND DESIGNATED AS LOT 12 BLOCK 5 AS SHOWN ON THE BOROUGH OF BAY HEAD TAX MAP SHEET NO. 1.
- PLAN INFORMATION BASED ON BOUNDARY & TOPOGRAPHIC SURVEY, 1606 BAY AVENUE, LOT 12, BLOCK 5 AS PREPARED BY FWH ASSOCIATES, P.A., SHEET 1 OF 1, DATED 6/10/21 AND REVISED 9/26/23
- PROPERTY LIES IN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FLOOD INSURANCE RATE MAP No. 34029C0208G, EFFECTIVE DATE: JUNE 20, 2018.
- UTILITY LOCATIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION
- OWNER/APPLICANT: RUSSELL & VERITY FRIZZELL  
1606 BAY AVENUE  
BAY HEAD, NJ 08742
- PROPERTY ADDRESS: 1606 BAY AVENUE
- BENCHMARK: MANHOLE RIM AS SHOWN ELEVATION: 7.27  
TOPOGRAPHIC SURVEY DATA SHOWN HEREON IS BASED ON NAVD 88 DATUM
- ALL BARRIER FENCING TO BE POOL CODE COMPLIANT WITH SELF CLOSING/LATCHING GATES.
- BULK VARIANCE REQUIRED FOR IMPERVIOUS WALKWAY WITHIN SIDE YARD SETBACK
- BULK VARIANCE REQUIRED FOR SIDE YARD SETBACK, 6 FEET IS REQUIRED WHEREAS 5.5 FEET IS PROPOSED
- DRAINAGE TRENCH #1: 154 SF PATIO SPACE @ 2 YR. STORM = 15 CF REQUIRED  
103 SF (67%(.40) = 27.6 CF PROVIDED  
DRAINAGE TRENCH #2: 718 SF PATIO SPACE @ 2 YR. STORM = 66 CF REQUIRED  
278 SF (67%(.40) = 74.5 CF PROVIDED



**EXISTING CONDITIONS PLAN**



**PROPOSED IMPROVEMENT PLAN**



10/11/23	ADD DRAINAGE TRENCHES	VTH	CPR	CPR
DATE	REVISION	DRAWN	CHECKED	RELEASED

**PROPOSED PLOT PLAN**

1606 BAY AVENUE  
LOT 12, BLOCK 5  
TAX MAP SHEET No. 1  
SITUATED IN  
BOROUGH OF BAY HEAD, OCEAN COUNTY, NEW JERSEY

**FWH ASSOCIATES, P.A.**  
CIVIL ENGINEERS  
LAND SURVEYORS  
PLANNERS  
LANDSCAPE ARCHITECTS  
RESERVE SPECIALISTS  
ARCHITECTS  
1856 Rt. 9, Toms River, NJ 08755 T: 732.797.3100 F: 732.797.3223  
FWHASSOCIATES.COM

DRAWN BY VTH		DATE 9/15/23
DESIGNED BY VTH		SCALE 1"=20'
CHECKED BY CPR	DRAWER NO. SB-2682	
RELEASED BY CPR	PROJECT NO. 5570.0001	
SHEET NO. 1	OF 1	

**Christopher P. Rosati**  
PROFESSIONAL ENGINEER  
N.J. LIC. NO. 41981

**ZONING PERMIT DENIED**  
BY: \_\_\_\_\_  
DATE: 10/12/2023

- LEGEND**
- 96 — PROP. CONTOUR
  - 96 — EXISTING CONTOUR
  - x(96.5) EXISTING SPOT ELEV.
  - 96.5 PROPOSED SPOT ELEV.
  - FF:100.0 FINISH FLOOR ELEV.
  - GF:97.5 GARAGE FLOOR ELEV.
  - BF:97.5 BASEMENT FLOOR ELEV.

