

**EXISTING CONDITIONS PLAN**  
SCALE 1"=10'

**OWNER/APPLICANT:**  
BRUCE JR. & LAUREN KENNEDY  
2 EAST MAIN STREET, BOX 68  
BROOKSIDE, NJ 07926

**REFERENCES USED:**  
• DEED BOOK 19273, PAGE 907

**PROPERTY DESCRIPTION:**  
BEING KNOWN AS LOT 53 IN BLOCK 12 ON THE OFFICIAL  
TAX MAP SHEET 1 OF BOROUGH OF BAY HEAD, OCEAN  
COUNTY, NEW JERSEY.

EXISTING LOT COVERAGE	
SHED	275.5 S.F.
CONC. LANDING	21.0 S.F.
A/C DECK	14.6 S.F.
1 1/2 STY. DWELLING	704.6 S.F.
CONC. LANDING	18.9 S.F.
<b>TOTAL</b>	<b>1034.6 S.F.</b>

EXISTING BUILDING COVERAGE	
SHED	275.5 S.F.
WOOD DECK	340.0 S.F.
A/C DECK	14.6 S.F.
1 1/2 STY. DWELLING	704.6 S.F.
WOOD PORCH	50.9 S.F.
<b>TOTAL</b>	<b>1385.6 S.F.</b>

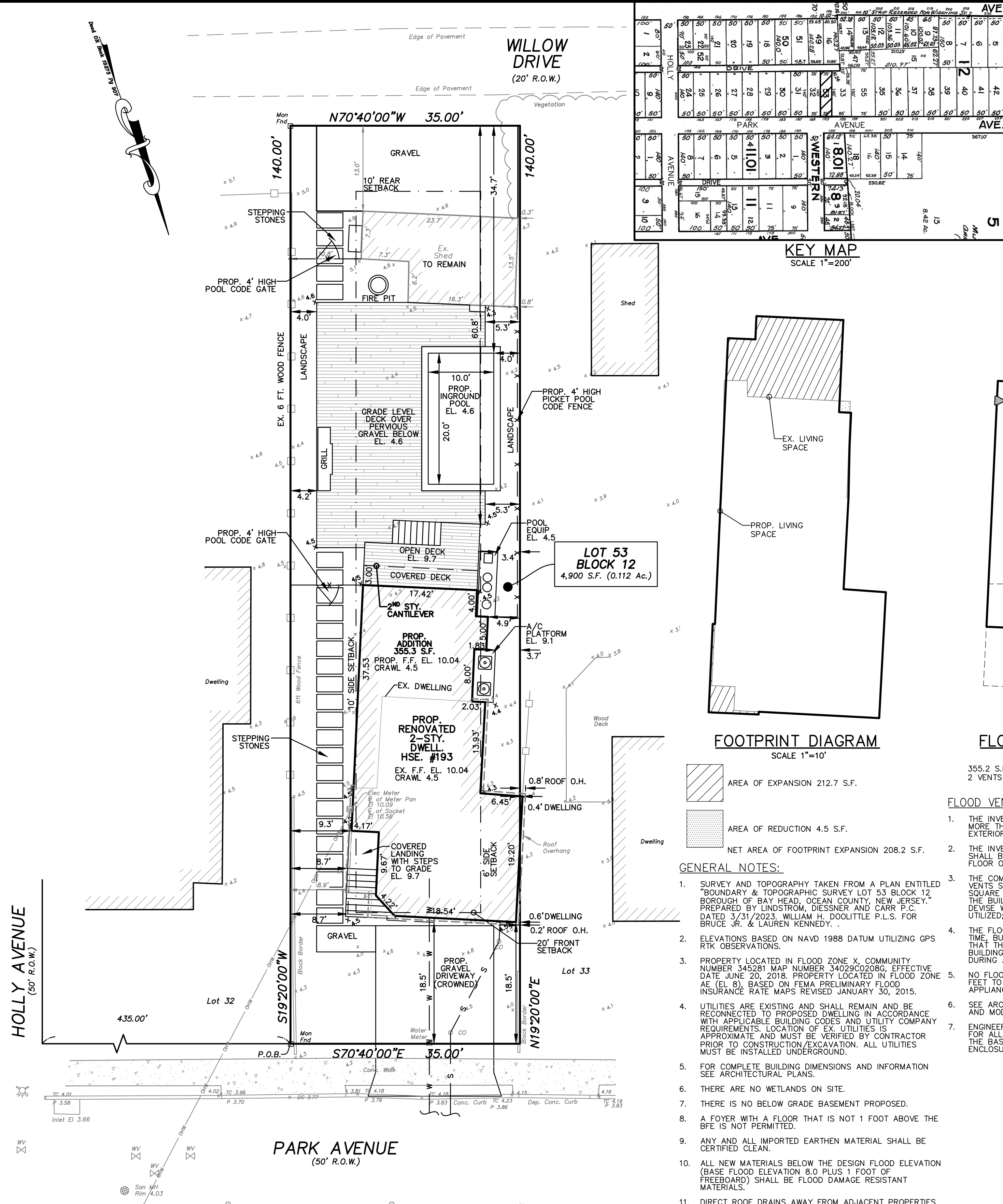
PROPOSED LOT COVERAGE	
SHED	275.5 S.F.
STEPPING STONES	251.9 S.F.
FIRE PIT	7.1 S.F.
GRILL	19.9 S.F.
POOL EQUIP. PAD	26.7 S.F.
COVERED DECK	52.3 S.F.
A/C PLATFORM	25.8 S.F.
2 STY. DWELLING	1015.4 S.F.
COVERED LANDING & STEPS	64.8 S.F.
<b>TOTAL</b>	<b>1739.4 S.F.</b>

**PROPOSED DEVELOPMENT PLAN**  
SCALE 1"=10'

PROPOSED BUILDING COVERAGE	
SHED	275.5 S.F.
OPEN DECK	108.6 S.F.
COVERED DECK	52.3 S.F.
A/C PLATFORM	25.8 S.F.
2 STY. DWELLING	1015.4 S.F.
COVERED LANDING & STEPS	64.8 S.F.
<b>TOTAL</b>	<b>1542.4 S.F.</b>

PROPERTY IS LOCATED IN THE R-50 ZONE			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	5,000 S.F.	4,900 S.F.*	4,900 S.F.*
LOT WIDTH	30.0 FT.	35.0 FT.**	35.0 FT.**
FRONT SETBACK	20 FT.	14.2 FT.**	18.5 FT.**
SIDE SETBACK	6 FT.	0.0 FT.**	0.0 FT.**
COMBINED	16 FT.	8.9 FT.**	8.7 FT.**
REAR SETBACK	10 FT.	72.6 FT.	60.8 FT.
MAX. BUILDING HEIGHT(1)	35 FT.	23.5 FT.	23.5 FT.
MAX. BUILDING COVERAGE	2.5 STYS.	1.3 STYS.	2.0 STYS.
MAX. LOT COVERAGE	50%	21.1%	35.5%
<b>ACCESSORY SHED</b>			
SIDE SETBACK	4 FT.	0.3 FT.*	0.3 FT.*
REAR SETBACK	10 FT.	13.0 FT.	13.0 FT.
<b>POOL</b>			
SIDE SETBACK	4 FT.	N/A	4.0 FT.
REAR SETBACK	10 FT.	N/A	34.7 FT.
<b>POOL EQUIPMENT</b>			
SIDE SETBACK	6 FT.	N/A	3.4 FT.**
A/C PLATFORM	6 FT.	2.3 FT.*	3.7 FT.**

\* EXISTING NON-CONFORMING  
\*\* VARIANCE REQUESTED  
(1) MEASURED FROM RIDGE TO BFE 8.0



**FOOTPRINT DIAGRAM**  
SCALE 1"=10'

AREA OF EXPANSION 212.7 S.F.  
AREA OF REDUCTION 4.5 S.F.  
NET AREA OF FOOTPRINT EXPANSION 208.2 S.F.

- GENERAL NOTES:**
- SURVEY AND TOPOGRAPHY TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY LOT 53 BLOCK 12 BOROUGH OF BAY HEAD, OCEAN COUNTY, NEW JERSEY" PREPARED BY LINDSTROM, DIESSNER AND CARR P.C. DATED 3/31/2023. WILLIAM H. DOOLITTLE P.L.S. FOR BRUCE JR. & LAUREN KENNEDY.
  - ELEVATIONS BASED ON NAVD 1988 DATUM UTILIZING GPS RTK OBSERVATIONS.
  - PROPERTY LOCATED IN FLOOD ZONE X, COMMUNITY NUMBER 345281 MAP NUMBER 34029C0208C, EFFECTIVE DATE JUNE 20, 2018. PROPERTY LOCATED IN FLOOD ZONE AE (EL. 8), BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 30, 2015.
  - UTILITIES ARE EXISTING AND SHALL REMAIN AND BE RECONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF EX. UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION. ALL UTILITIES MUST BE INSTALLED UNDERGROUND.
  - FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
  - THERE ARE NO WETLANDS ON SITE.
  - THERE IS NO BELOW GRADE BASEMENT PROPOSED.
  - A FOYER WITH A FLOOR THAT IS NOT 1 FOOT ABOVE THE BFE IS NOT PERMITTED.
  - ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
  - ALL NEW MATERIALS BELOW THE DESIGN FLOOD ELEVATION (BASE FLOOD ELEVATION 8.0 PLUS 1 FOOT OF FREEBOARD) SHALL BE FLOOD DAMAGE RESISTANT MATERIALS.
  - DIRECT ROOF DRAINS AWAY FROM ADJACENT PROPERTIES AND TOWARDS ON SITE PERVIOUS GRAVEL AREAS.



**AERIAL MAP**  
N.T.S.

**FLOOD HAZARD CONTROL ACT NOTES**

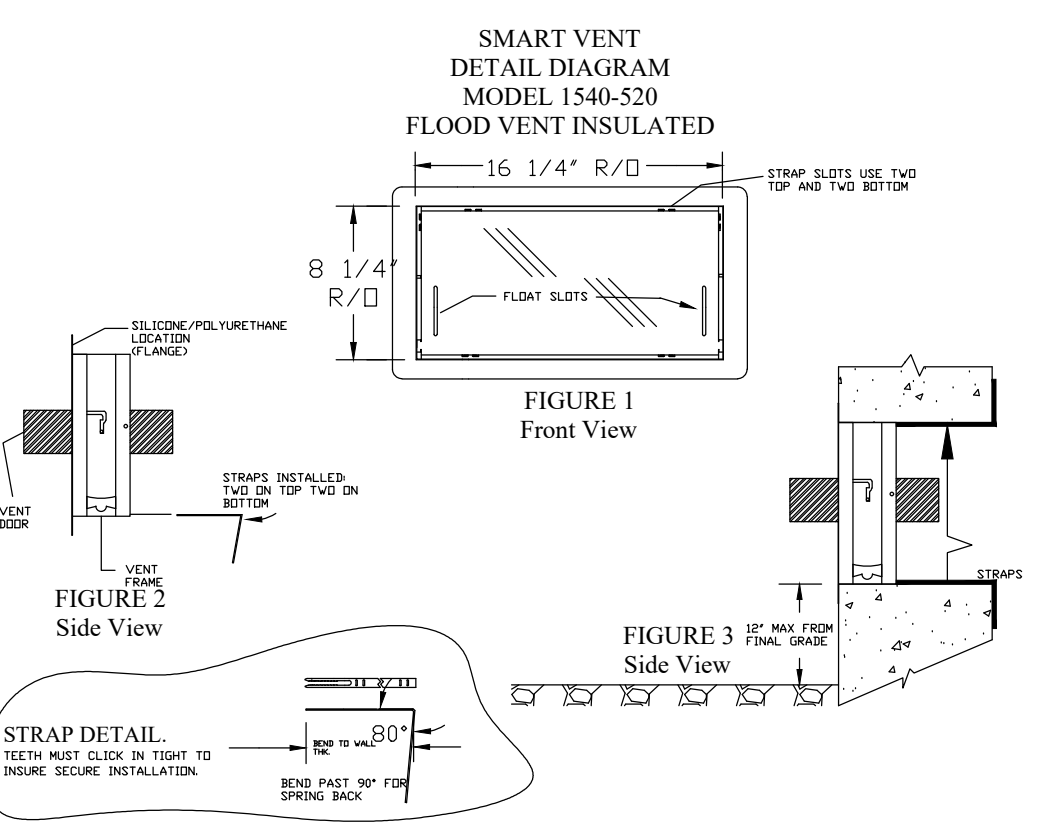
- INGROUND POOLS: (7-13-7.21)
  - THE PROPOSED POOL IS NOT LOCATED WITHIN A FLOODWAY.
- DECK:
  - THE DECK IS NOT ENCLOSED WITH WALLS EITHER ABOVE OR BELOW ITS FLOOR EXCEPT FOR PROTECTIVE OR DECORATIVE FENCING, BANISTERS OR LATTICE WORK THAT ALLOW FLOODWATERS TO PASS FREELY.
  - THE DECK WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETINS.
  - THE DECK SHALL BE DESIGN AND CONSTRUCTED IN ACCORDANCE WITH PERMIT-BY-RULE 16 AT N.J.A.C. 7:13-7.16
- RESIDENTIAL CONSTRUCTION IN TIDAL FLOOD HAZARD AREA
  - THE EXISTING AND PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 10.04 NAVD88.
  - LOWEST FLOOR SHALL MEET THE FOLLOWING:
    - THE FLOOR OF THE ENCLOSURE IS SITUATED AT OR ABOVE THE ADJOINING EXTERIOR GRADE ALONG AT LEAST ONE ENTIRE EXTERIOR WALL IN ORDER TO PROVIDE POSITIVE DRAINAGE OF THE ENCLOSED AREA; AND
    - THE ENCLOSURE IS CONSTRUCTED WITH FEMA COMPLIANT PERMANENT FLOOD OPENINGS THAT MEET THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE AT N.J.A.C. 5:23
  - THE DEED FOR THE LOT ON WHICH THE ENCLOSURE OR GARAGE IS CONSTRUCTED IS MODIFIED TO:
    - EXPLAIN THAT THE ENCLOSURE OR GARAGE IS LIKELY TO BE INUNDATED BY FLOODWATERS, WHICH MAY RESULT IN DAMAGE AND/OR INCONVENIENCE.
    - DISCLOSE THE DEPTH OF FLOOD THAT THE ENCLOSURE OR GARAGE WOULD EXPERIENCE DURING THE FEMA 100-YEAR FLOOD AND FLOOD HAZARD AREA DESIGN FLOOD, IF EITHER ELEVATION IS KNOWN;
    - PROHIBIT HABITATION OF THE ENCLOSURE OR GARAGE; AND
    - EXPLAIN THAT CONVERTING THE ENCLOSURE OR GARAGE INTO A HABITABLE AREA MAY SUBJECT THE PROPERTY OWNER TO ENFORCEMENT ACTION BY THE NJDEP.
- THE PROPOSED DRIVEWAY ASSOCIATED WITH HABITABLE BUILDING SHALL MEET THE REQUIREMENTS AT N.J.A.C. 7:13-12.6(f). THE DRIVEWAY WILL NOT BE CONSTRUCTED FOR A BUILDING THAT IS PART OF RESIDENTIAL SUBDIVISION OR MULTIFAMILY DEVELOPMENT AND A DEED MODIFICATION WILL BE PROVIDED IN ACCORDANCE WITH 12.6(f), SINCE IT IS NOT FEASIBLE TO CONSTRUCT THE DRIVEWAY AT LEAST ONE FOOT ABOVE THE BFE OF 8.0' NAVD.
- THE PROPOSED BUILDING AND ASSOCIATED STRUCTURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS, 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETINS.
  - ANY PROPOSED FILL ON THE SITE SHOULD MEET THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS, 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETIN 5.
  - PROJECT QUALIFIES FOR A FHCA PERMIT BY RULE NO. 12 SINCE THE ADDITION IS LESS THAN 400 S.F.

**FLOOD VENT DIAGRAM**  
SCALE 1"=10'

355.2 S.F. ADDITION ± 200 S.F. / VENT =  
2 VENTS REQUIRED 2 VENTS PROVIDED

**FLOOD VENTS SHALL MEET THE FOLLOWING:**

- THE INVERT OF EACH FLOOD VENT SHALL BE NO MORE THAN 12 INCHES ABOVE THE ADJOINING EXTERIOR GRADE OR INTERIOR SLAB.
- THE INVERT OF AT LEAST HALF OF THE FLOOD VENTS SHALL BE NO MORE THAN 12 INCHES ABOVE THE FLOOR OF THE BUILDING.
- THE COMBINED EFFECTIVE OPEN AREA OF THE FLOOD VENTS SHALL BE AT LEAST ONE SQUARE INCH PER SQUARE FOOT OF THE AREA OF THE FOOTPRINT OF THE BUILDING, UNLESS A SMALLER FEMA-APPROVED DEVICE WITH AN EQUIVALENT EFFECTIVE AREA IS UTILIZED; AND
- THE FLOOD VENTS SHALL NOT BE BLOCKED AT ANY TIME, BUT SHALL PERMANENTLY REMAIN OPEN SO THAT THE FLOODWATERS CAN FREELY ENTER THE BUILDING TO BALANCE HYDROSTATIC PRESSURE DURING A FLOOD.
- NO FLOOD VENT SHALL BE PLACED CLOSER THAN 3 FEET TO A GAS METER OR GAS CONSUMING APPLIANCE.
- SEE ARCHITECTURAL PLANS FOR FLOOD VENT DETAILS AND MODEL.
- ENGINEERED SMART FLOOD VENTS TO BE PROVIDED FOR ALL ENCLOSED AREAS OF THE LOWER LEVEL ON THE BASIS OF 1 VENT PER 200 SQ. FT. OF ENCLOSURE.



NO.	DATE	REVISION DESCRIPTION	BY
123.45		PROPOSED INLET	
123.45		PROPOSED SPOT GRADE	
123.45		EXISTING FIRE HYDRANT	
123.45		PROPOSED FIRE HYDRANT	
123.45		EXISTING M.H.	
123.45		PROPOSED M.H.	
123.45		EXISTING UTILITY POLE	
123.45		PROPOSED UTILITY POLE	
123.45		SOIL BORING LOCATION	
123.45		EXISTING VALVE	
123.45		PROPOSED VALVE	
123.45		EXISTING WOODS LINE	
123.45		PROPOSED WOODS LINE	
123.45		TOP OF BLOCK	

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**PLOT PLAN**  
LOT 53 BLOCK 12

BOROUGH OF BAY HEAD OCEAN COUNTY NEW JERSEY

DRAWN BY: JAR SCALE: 1"=10' DATE: 6/28/2023 SHEET: 1 OF 1 PROJECT: 23024