

revisions	date
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project number
2305

General Notes:

- SPECIFICATIONS AND GENERAL REQUIREMENTS:**
SEE ATTACHED WRITTEN OUTLINE SPECIFICATION FOR ADDITIONAL INFORMATION AND GENERAL REQUIREMENTS.
- WINDOWS & FRENCH DOORS:**
WINDOWS AND FRENCH DOORS TO BE ANDERSON BRAND "400 SERIES" UNITS UNLESS NOTED OTHERWISE. SEE ATTACHED WRITTEN SPECIFICATION FOR WINDOW INFORMATION INCLUDING WHERE UNITS SHALL CONTAIN SAFETY GLAZING. ALL WINDOWS THAT ARE MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW ARE TO BE INSTALLED SO THAT THE LOWEST PART OF THE CLEAR OPENING IS NOT GREATER THAN 24" ABOVE THE FINISHED FLOOR.
- CARBON MONOXIDE DETECTORS:**
PROVIDE CARBON MONOXIDE DETECTORS IN THE VICINITY OF ALL BEDROOMS AS SHOWN ON PLANS.
- COMBUSTION AIR:**
PROVIDE METAL DUCT & GRILLE FOR COMBUSTION AIR IN ALL SPACES WITH GAS APPLIANCES. ALL GAS APPLIANCES ARE TO VENT DIRECTLY TO THE EXTERIOR THROUGH A METAL DUCT.
- CLOSETS:**
PROVIDE ROD & SHELF MIN. IN ALL CLOSETS.
- UNDER-STAIR PROTECTION:**
ALL ENCLOSED ACCESSIBLE SPACES UNDER STAIRS TO HAVE ALL INTERIOR WALL & CEILING SURFACES FINISHED WITH 1/2" GYPSUM WALL BOARD.
- RINSE STATION:**
THE OUTSIDE RINSE STATION DRAIN SHALL NOT BE CONNECTED TO THE MUNICIPAL SEWER LINE.
- HOSE BIBS:**
PROVIDE HOSE BIBS IN QUANTITY AND LOCATIONS AS REQUIRED BY OWNER.
- BATH & POWDER ROOM VENTING:**
ALL BATHS & POWDER ROOMS ARE TO BE VENTED TO THE EXTERIOR.
- SOUND ATTENUATION:**
PROVIDE SOUND ATTENUATION BATT INSULATION IN ALL FLOORS, CEILINGS & INTERIOR PARTITIONS.
- ROOF DRAINAGE:**
ALL WATER SHED FROM ROOFS TO BE COLLECTED IN GUTTERS AND DRAINED THROUGH DOWN SPOUTS AND LEADERS. LEADERS ARE TO EXTEND 5 FEET MINIMUM FROM PERIMETER WALLS.
- FOOTING GROUND:**
PROVIDE A CONCRETE ENCASED ELECTRODE CONNECTED TO A MINIMUM 20 FOOT-LONG 1/2" BARE STEEL REINFORCING BAR LOCATED WITHIN AND NEAR THE BOTTOM OF A CONCRETE FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH.
- PROTECTION OF ADJACENT PROPERTIES:**
THE GENERAL CONTRACTOR IS TO PROTECT ADJACENT PROPERTIES IN COMPLIANCE WITH N.J.A.C. 5:23-2.15(1)(1) AND N.J.A.C. 5:23-2.34.
- ALL BUILDING COMPONENTS INSTALLED BELOW DESIGN FLOOD ELEVATION ARE TO BE FLOOD-DAMAGE RESISTANT MATERIALS AS PER FEMA TECHNICAL BULLETIN 2 AND CLASSIFIED AS "ACCEPTABLE" PER TABLE 2 OF THE BULLETIN. THIS INCLUDES TRIM, FLOORING, CABINETRY, ETC.**

Project Information:

	PROPOSED	REQUIRED
MUNICIPAL ZONE DISTRICT	R-50	R-50
NUMBER OF STORIES	2	2 1/2 MAX.
FIRST FLOOR HABITABLE AREA:	1006.1 SF	N/A
SECOND FLOOR HABITABLE AREA:	902.3 SF	N/A
BUILDING VOLUME:	21320 CF	N/A
MAX. BUILDING HEIGHT:	28'-6"	35'-0"

Design Loads:

	LIVE	DEAD
FLOOR DESIGN LOADS:	40 PSF	20 PSF
ROOF DESIGN LOADS:	20 PSF	10 PSF
CEILING JOIST DESIGN LOADS:	20 PSF	10 PSF

WIND LOADS:
THE STRUCTURE HAS BEEN DESIGNED TO ACCOMMODATE A WIND SPEED OF 125 MPH AND A BASIC VELOCITY PRESSURE OF 28 PSF, AS REQUIRED FOR THIS LOCATION.

Electrical Legend:

- RECESSED DOWNLIGHT
- RECESSED DOWNLIGHT FOR WET LOCATIONS
- EXTERIOR WALL MOUNTED DECORATIVE FIXTURE AS SELECTED BY OWNER
- SURFACE MOUNTED CEILING FIXTURE AS SELECTED BY OWNER
- PENDANT FIXTURE IN SIZE & TYPE SELECTED BY OWNER
- RECESSED FAN, L2 IS FAN/LIGHT COMBINATION W/ SEPARATE SWITCHES
- CEILING MOUNTED FAN SIZE AND STYLE AS SELECTED BY OWNER
- UNDER-CABINET LIGHTING
- STANDARD DUPLEX RECEPTACLE
- GROUND FAULT INTERRUPT PROTECTED RECEPTACLE, HEIGHT APP. AS NOTED
- WATERPROOF RECEPTACLE FOR EXTERIOR USE W/ COVER
- 220 VOLT DUPLEX RECEPTACLE
- A/C SMOKE DETECTOR INTERCONNECT W/ ALL UNITS SO IF ONE IS ACTIVATED ALL SOUND. IBC APPROVED PHOTO-ELEC TYPE
- CARBON MONOXIDE DETECTOR AND ALARM, IBC APPROVED
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- TELEPHONE JACK
- TELEVISION CABLE JACK

Electrical Notes:

- ALL CLOSETS SHALL HAVE OWNER APPROVED FLUORESCENT LIGHT FIXTURE ABOVE CLOSET DOOR WITH DOOR ACTIVATED SWITCH.
- ALL RECESSED LIGHT FIXTURES SHALL BE ON DIMMER CONTROL SWITCHING.
- SMOKE DETECTOR / ALARMS TO BE A/C POWERED WITH BATTERY BACK-UP AND INTERCONNECTED SO THAT ALL ALARMS SOUND IF ANY ONE IS ACTIVATED. DETECTORS SHALL BE LOCATED AS PER IRC2018, SECTION R314.
- ALL SWITCHES, RECEPTACLES, DIMMERS, FAN CONTROLS, TELEPHONE AND TELEVISION JACKS SHALL BE LEVITON-DECORA STYLE DEVICES OR APP. EQUAL AS SELECTED BY OWNER.
- PROVIDE LIGHTING IN CRAWL SPACE AS NEEDED.

Code Information:

USE GROUP CLASS:	R-5
CONSTRUCTION TYPE:	5B

- BUILDING CODE:**
THESE PLANS HAVE BEEN PREPARED AS PER THE REGULATIONS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AND THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE. THE WORK OF ALL CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS OF THE FOREMENTIONED CODES.
- DESIGN CRITERIA METHOD:**
STRUCTURE HAS BEEN DESIGN ACCORDING TO THE A.S.C.E. 7-05, MINIMUM DESIGN FOR BUILDINGS AND OTHER STRUCTURES.

Legend for Floor Plans:

NEW WOOD FRAME CONSTRUCTION	BEAM ABOVE
EXISTING WOOD FRAME CONSTRUCTION TO REMAIN UNALTERED	SEE DRAWINGS FOR TYPES AND SIZES
EXISTING WOOD CONSTRUCTION TO BE REMOVED	--- GRADE BEAM OR --- FOOTING BELOW
NEW REINFORCED MASONRY CONSTRUCTION	----- LINES OF CONSTRUCTION ABOVE
EXISTING CONSTRUCTION TO REMAIN	☒ POST BELOW
	☒ POINT LOAD ABOVE

Site Plan Legend:

- PROPERTY LINE
- SETBACK LINE

Plan North:



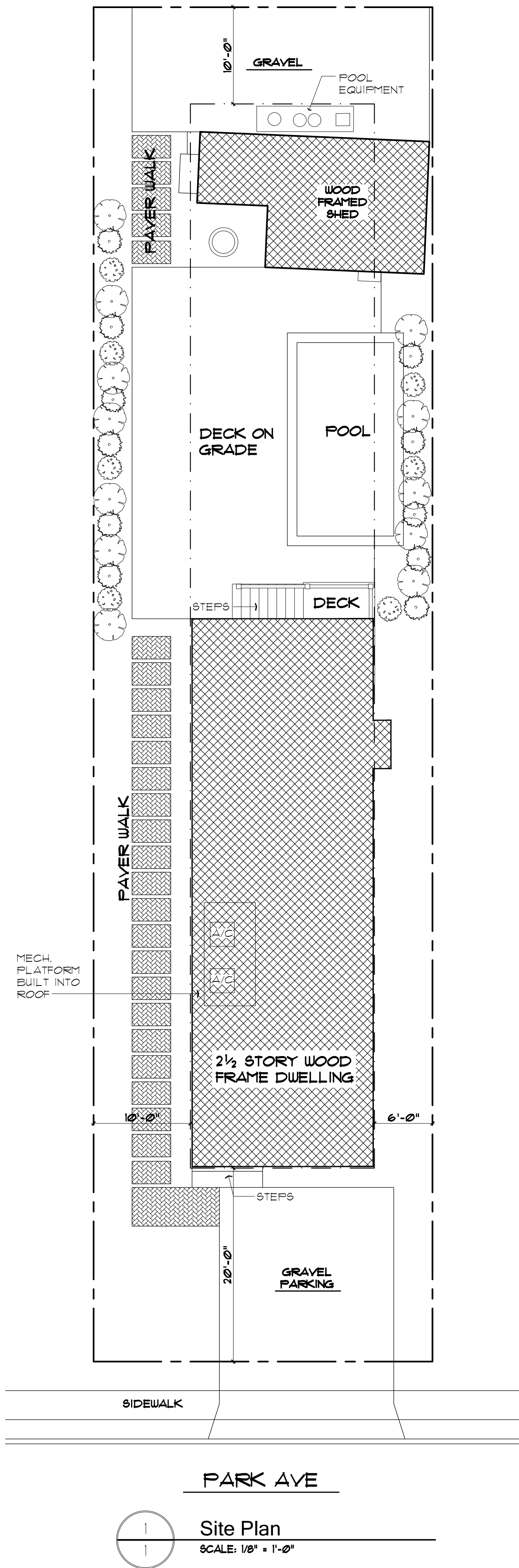
True North:



Site Plan Legend:

- PROPERTY LINE
- SETBACK LINE

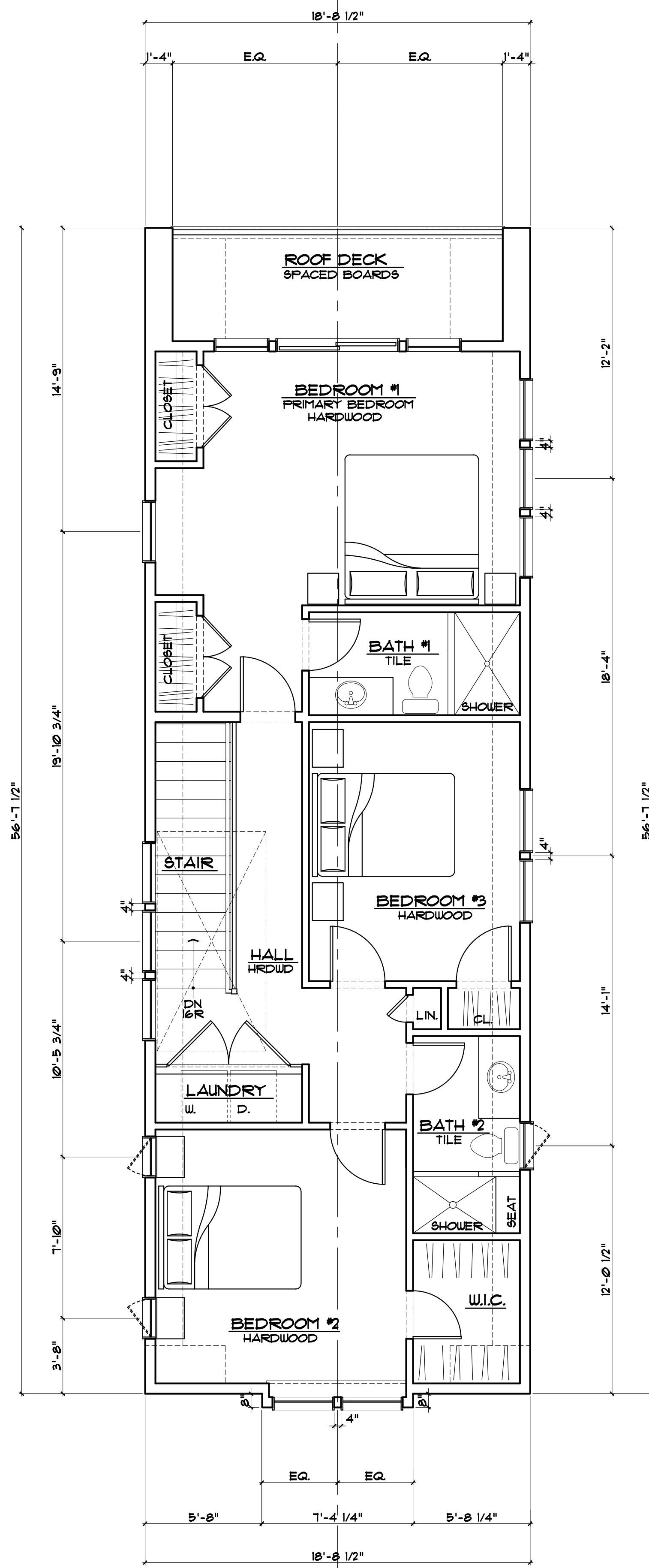
NOTE:
THIS SITE PLAN FOR REFERENCE PURPOSES ONLY. SEE PLOT PLAN BY ENGINEER FOR LAND USE INFORMATION



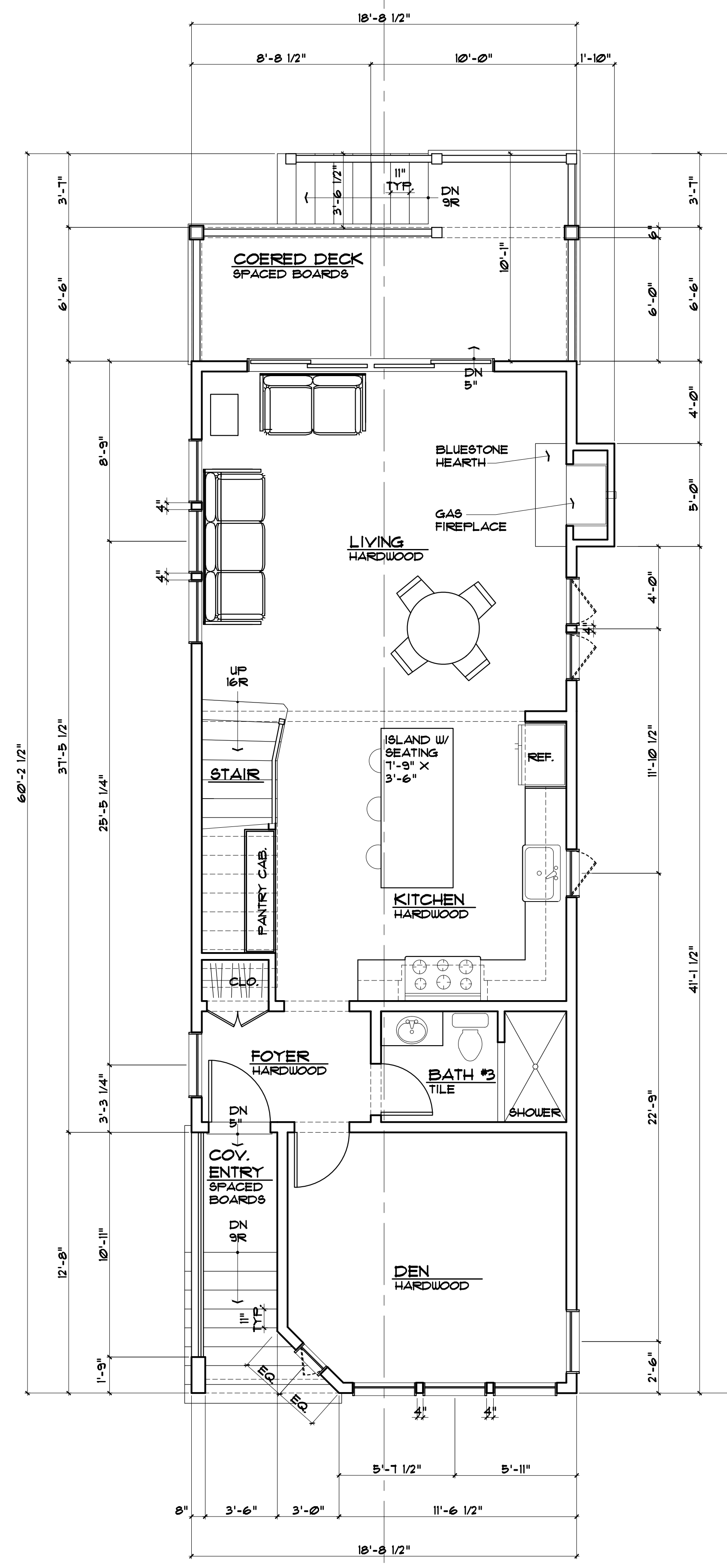
PARK AVE

Site Plan

SCALE: 1/8" = 1'-0"



2 First Floor Plan
SCALE: 1/4" = 1'-0"

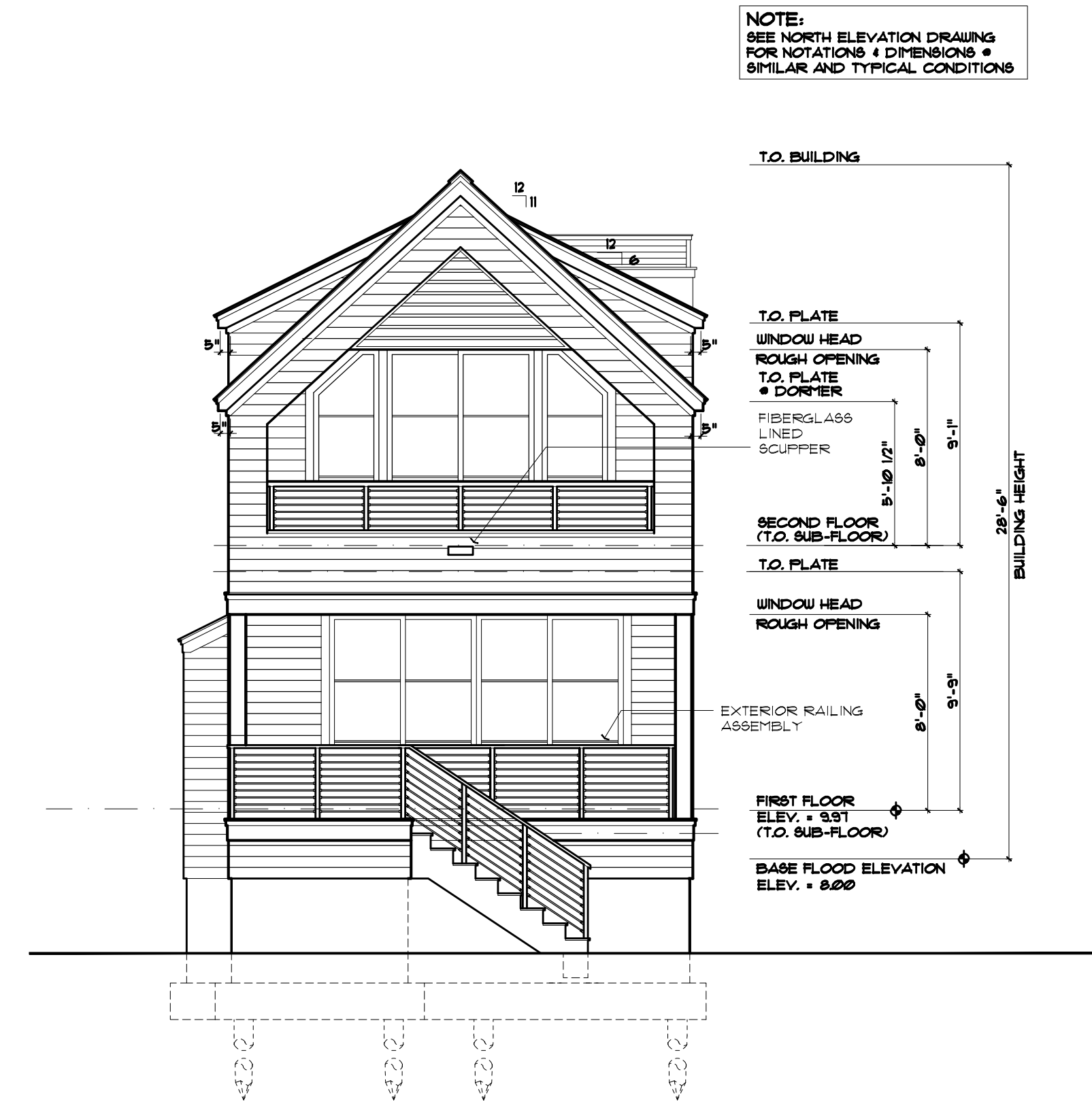


1 First Floor Plan
SCALE: 1/4" = 1'-0"

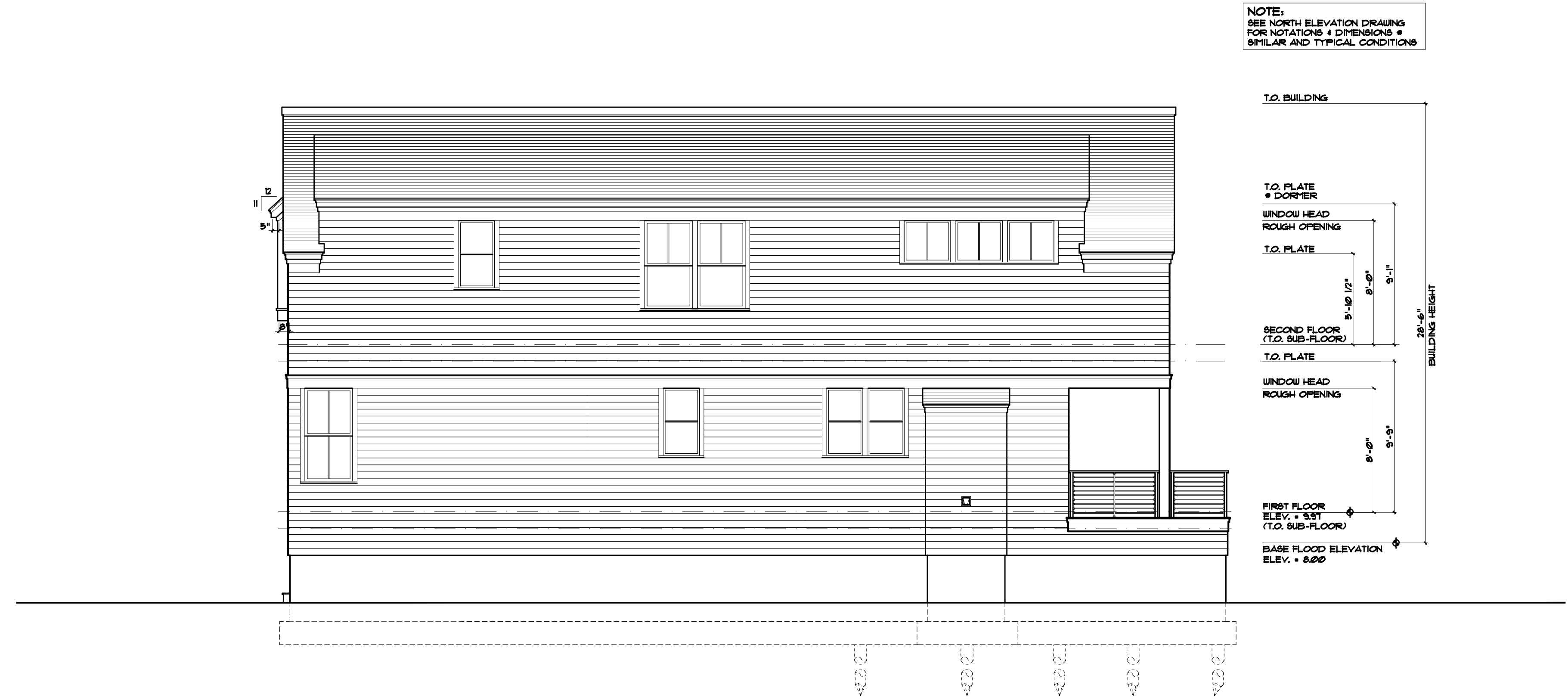
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project number
 2305



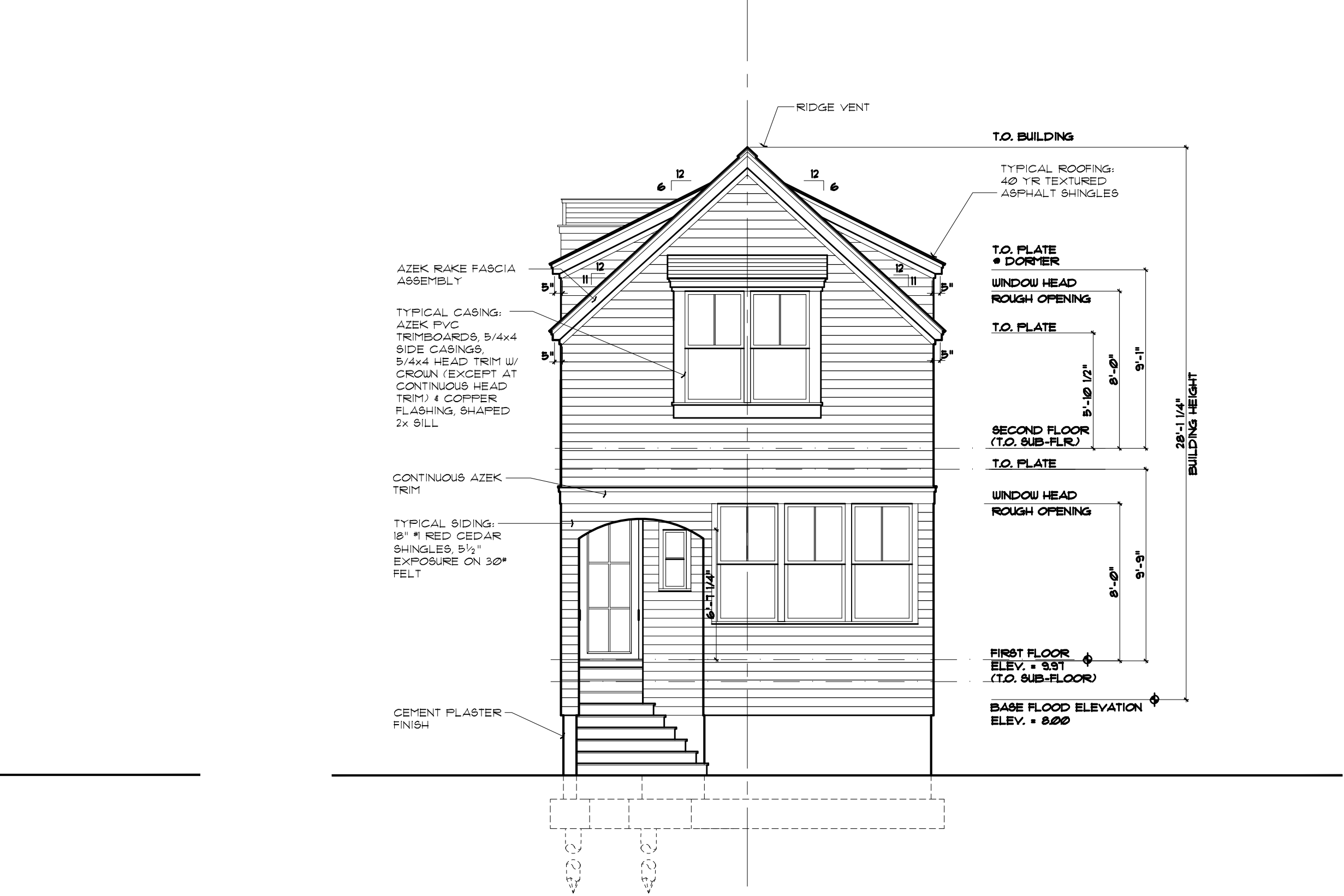
4 South Elevation
 SCALE: 3/16" = 1'-0"



3 West Elevation
 SCALE: 3/16" = 1'-0"



2 East Elevation
 SCALE: 3/16" = 1'-0"



1 North Elevation
 SCALE: 3/16" = 1'-0"